

- Closet Shelving: metal; fair condition; some sagging.
- Interior Hardware: metal; fair condition; worn finish.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped without a secondary eating area.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink; double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; fair condition; dated and dirty.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl composite tile; fair condition; mismatched.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2, 3 and 4.

- Cabinets: wood; fair condition; worn finish.
- Counters: laminated; fair condition; worn appearance.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; fair condition; corroded.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; good condition.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.

- Ventilation: exhaust fan; fair condition; older; noisy.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: laminated; good condition.
- Sink: porcelain; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: shower; fair condition; ceramic tile surround and floor with glass door; tile grout required cleaning regrouting.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; fair condition; older; noisy.
- Interior Hardware: metal; fair condition; worn.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: closet; good condition; adequate size; adjacent to Kitchen.
- Flooring: vinyl composite tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wall cabinets; good condition; wood.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed between 1920 and 1987; therefore probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit constructed before 1977; therefore probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; however, lead has not been found in the interior or wood trim for this unit type.
- Asbestos: unit constructed before 1982; therefore probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no radon contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; good condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; good condition; problems with connection at main and house.

- Grading/Drainage: surface; fair condition; inadequate slope away from foundations; foundation is not 8-inches above grade.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area by 30 sf and dimension requirements by 9"; closet space exceeds minimum; smoke detector in hall.
- Bathroom for Bedroom 1: standard; appropriate size for function; minimal counter space.
- Bedroom 2: substandard; does not meet minimum area by 31 sf and dimension requirements by 12"; closet space meets minimum; smoke detector in hall.
- Bedroom 3: substandard; does not meet minimum area by 17 sf and does meet dimension requirements; closet space meets minimum; smoke detector in hall.
- Bedroom 4: substandard; does not meet minimum area by 8 sf and does meet dimension requirements; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 2,3,4: substandard; not appropriate size for function. 4'-5" x 7'-3". Minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: none; required by grade/bedroom.
- Dining Room: standard; meets minimum area and dimension requirements.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; no secondary eating area; good relationship to living areas, outside space, natural light; GFCI requirements met.
- Occupancy: inappropriate image/size for occupying grade.
- Covered Parking: attached single carport only (or none); compatible with house architecture; AF stand is two-car garage if site allows; site does not allow garage.
- Overall Floor Plan: fair; inappropriate size for occupying grade undersized by 307 gross sf and

225 net sf; appropriate functional relationships; appropriate egress; unit lacks 14 sf interior storage; entry very dark; front entry closet is undersized; no secondary dining area; lacks Family Room.

- Architectural Aesthetics: fair; character suitable for region, location, fair massing; suitable for future additions front door is not visible from street; unit lacks visual impact.

RECOMMENDATIONS

Roof

- Roof Structure: remove existing insulation and provide R-30 batt in attic.
- Roof Covering: replace shingles at evaporative cooler when new cooling units are relocated.
- Soffit/Fascia: provide aluminum cladding to encapsulate wood fascia; replace aluminum soffit.
- Gutters/Downspouts: install missing downspouts and splash blocks.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: repair approximately 25 percent of damaged stucco; repaint entire unit; remove approximately 20 percent of deteriorated grout and replace with new.
- Windows - Frame: provide new vinyl clad insulated window frames with double glazing.
- Windows - Screen: provide new screens with window frame.
- Doors - Entry: provide new steel insulated entry door with wide-angle viewer.
- Doors - Storm/Screen: install new screen/storm door.
- Doors - Hardware: install new dead bolts on exterior.

Structural - Other Building Elements

- Garage/Carport: due to location, it is not feasible to increase size of carport.
- Trash Enclosure: provide enclosure per proposed plan.

HCP

- Privacy Fencing: replace brick screen wall per proposed plan.
- Landscaping: install climate appropriate landscape and ground cover at foundation at front, side, and rear yard.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit; provide a new mechanical room door with grilles to satisfy combustion air requirements.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Register/Diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel.
- Receptacles: add additional and replace all receptacles and with grounded 3 prong outlets.
- GFCI Receptacles/Breakers: replace GFCI receptacles to Kitchen, bathrooms and exterior receptacles.
- Wiring: replace house wiring.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

- Phone Jacks: replace and add phone jacks.
- Cable Hookups: replace and add cable jacks.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.
- Light Switches: replace light switches.

General - All but Kitchen, Baths, Laundry

- Walls: provide new gypsum wall board for entire unit after electrical rewire.
- Wall Finish: paint all walls.
- Ceiling: provide new gypsum wall board for entire unit after electrical rewire.
- Ceiling Finish: paint all ceilings.
- Molding & Trim: replace existing trim with new wood trim.
- Doors - Interior: install new wood doors.
- Doors - Closet: install new wood doors.
- Closet Shelving: install new painted wood closet shelving; see proposed plan for new closet layout.
- Interior Hardware: install new interior hardware.

Kitchen

- Range/Oven: install new range/oven.
- Flooring: remove existing flooring and install new ceramic tile floor.
- Walls: provide new gypsum wall board for entire unit after electrical rewire.
- Wall Finish: paint all walls.
- Ceiling: provide new gypsum wall board for entire unit after electrical rewire.
- Ceiling Finish: paint ceiling.

Bathroom #1

See House Plan Suitability.

Bathroom #2

- Tub/Shower: regrout tile surround and floor; replace shower door.
- Walls: provide new gypsum wall board after electrical rewire.

- Wall Finish: paint all walls.
- Ceiling: provide new gypsum board after electrical rewire.
- Ceiling Finish: paint ceiling.
- Ventilation: install new exhaust fan; provide duct and exterior louver.
- Interior Hardware: install new hardware with brush metal finish.

Bathroom #3

No recommendation.

Laundry Room

- Location: install new door to screen Laundry area from front entry per proposed plan.
- Walls: provide new gypsum wall board after electrical rewire.
- Wall Finish: paint all walls.
- Ceiling: provide new gypsum board after electrical rewire.
- Ceiling Finish: paint ceiling.

Special Assessments

- Lead Base Paint: test for lead based paint and if present remove and replace all suspect material.
- Asbestos: test for asbestos; roofing material and window glazing to remain; remove vinyl composite tile and mastic, cove base and mastic, HVAC flex connectors and pipe insulation; gypsum wall board has been encapsulated with paint; light fixtures are in good condition.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

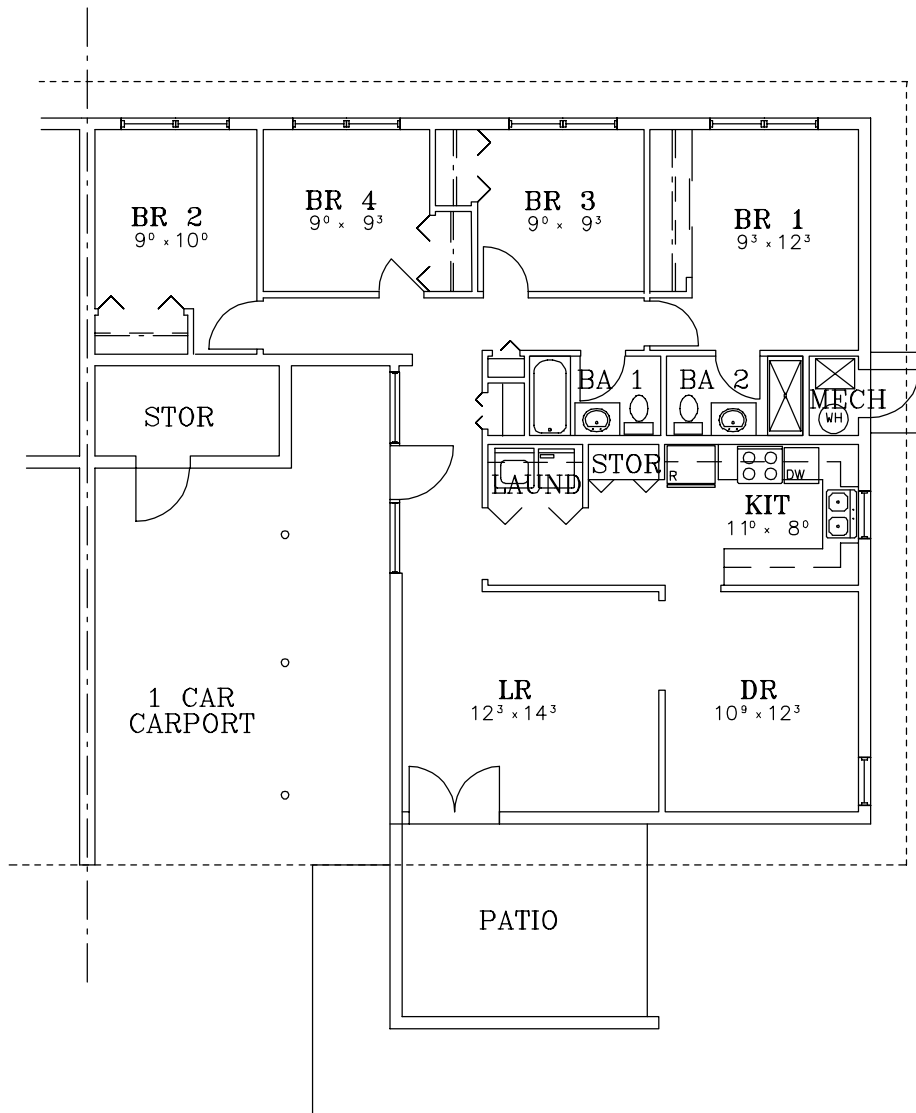
House Sitework

- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.

- Grading/Drainage: regrade to provide proper slope away from foundation.

House Plan Suitability

- Bedroom 1: reconfigure bedroom spaces to increase area of bedroom to meet requirements; see proposed plan.
- Bedroom 2: reconfigure bedroom spaces to increase area of bedroom to meet requirements; see proposed plan.
- Bedroom 3: reconfigure bedroom spaces to increase area of bedroom to meet requirements; see proposed plan.
- Bedroom 4: convert unit to 3 bedroom; eliminate Bedroom 4.
- Bathroom for Bedroom 2,3,4: expand per proposed plan; relocate plumbing fixtures; install new wood vanity with one-piece cultured marble counter/sink and new fixture hardware; relocate tub and toilet; provide new ceramic tile tub/shower surround; install new exhaust fan; provide duct and exterior louver; provide new gypsum wall board walls and ceiling due to unit rewire; paint walls and ceiling.
- Family Room: due to site constraints an addition can not be added to the front or side yards.
- Kitchen: provide counter for secondary eating area.
- Occupancy: convert all units to JNCO 3 bedroom units.
- Overall Floor Plan: provide interior storage closet adjacent to entry; enlarge entry closet; provide opening in roof at entry to provide additional light.
- Architectural Aesthetics: add a window with shutters to the front elevation of the Dining Room; provide a gabled entry, including new concrete walkway, between garage and unit to better define house entrance; provide visual relief in brick patio screen wall at front elevation with patterned openings.

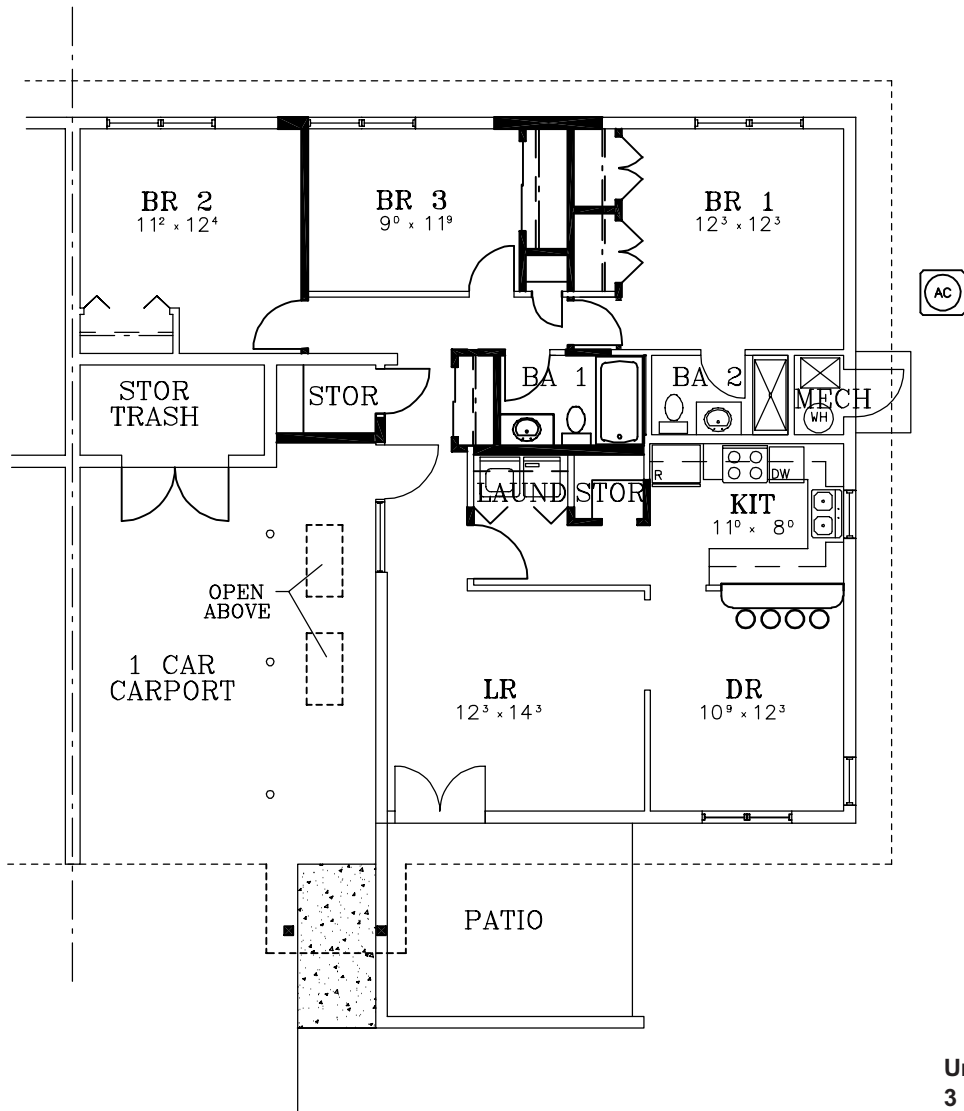


Unit Type CP.4.R
4 BR SNCO

GROSS SF: 1343
NET SF: 1105



EXISTING



Unit Type CP.3.R.2
3 BR JNCO

GROSS SF: 1374
 NET SF: 1105



PROPOSED

4.3.6.5.1 Unit Type CP.3.R.2

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$3,246
Structural/Foundation/Exterior Walls	\$15,881
Structural/Other Building Elements	\$4,840
Mechanical	\$14,303
Electrical	\$9,079
General/All but Kitchen, Baths, Laundry	\$10,654
Kitchen	\$2,168
Bathroom #1	\$0
Bathroom #2	\$2,010
Bathroom #3	\$0
Laundry Room	\$577
Special Assessments	\$7,583
House Sitework	\$3,097
House Plan Suitability	\$15,947
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$89,385
ACF (0.98) Adjusted Subtotal	\$87,598
SIOH @3.00%	\$2,628
Contingency @5.00%	\$4,511
Adjusted Subtotal (FY2001\$)	\$94,737
Escalation @3.33%	\$3,155
Total Unit Improvement Cost (FY2003\$)	\$97,892

4.3.7 FY96-02 Replacement

FY96-02 Replacement neighborhood is composed of a FY02 Replacement Housing Project and a FY96 Replacement Housing Project of ranch style duplexes.

this page left intentionally blank.

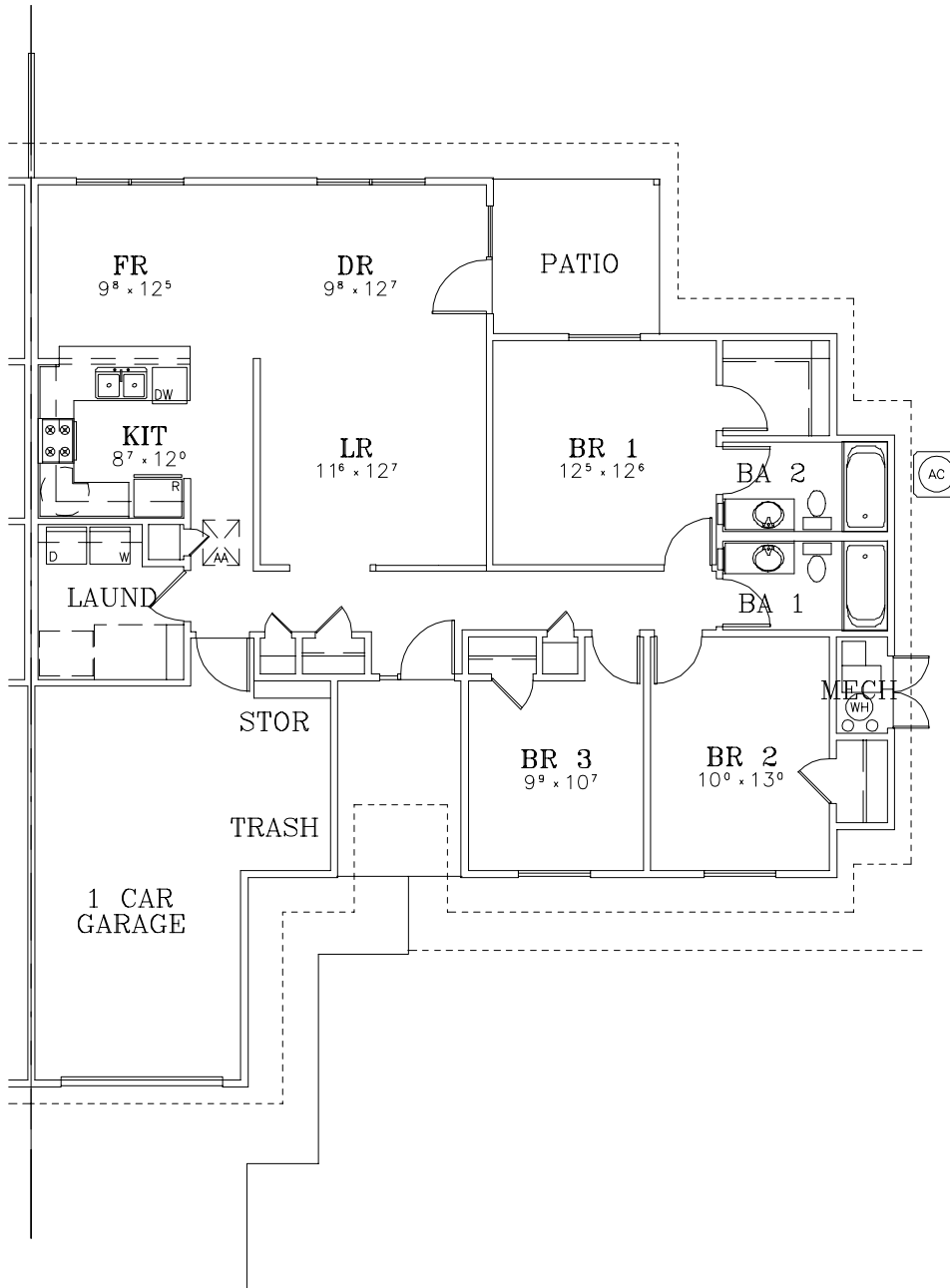
Photo not available.

4.3.7.1 Unit Type FY02.3.W Fy96-02 Replacement

Construction on the one story, three bedroom duplex was begun in 2001. It is of standard wood frame construction with concrete slab on grade. Exterior walls are stucco. One car garage is provided.

This unit type was not assessed.

	Existing
Floor Plan Type:	FY02.3.W
Gross Floor Area:	1388 sf
Net Floor Area:	1228 sf
Number of Bedrooms:	3
Number of Bathrooms:	2
Permanent Designation:	JNCO
CAM Rating:	5.00
FHU Assessed:	N/A
Number of FHUs of this Type:	36



Unit Type FY02.3.W
3 BR JNCO

GROSS SF: 1388
NET SF: 1228



EXISTING

4.3.7.1.1 Unit Type FY02.3.W

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$0
Structural/Foundation/Exterior Walls	\$0
Structural/Other Building Elements	\$0
Mechanical	\$0
Electrical	\$0
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$0
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$0
ACF (0.98) Adjusted Subtotal	\$0
SIOH @3.00%	\$0
Contingency @5.00%	\$0
Adjusted Subtotal (FY2001\$)	\$0
Escalation @3.33%	\$0
Total Unit Improvement Cost (FY2003\$)	\$0

this page left intentionally blank.

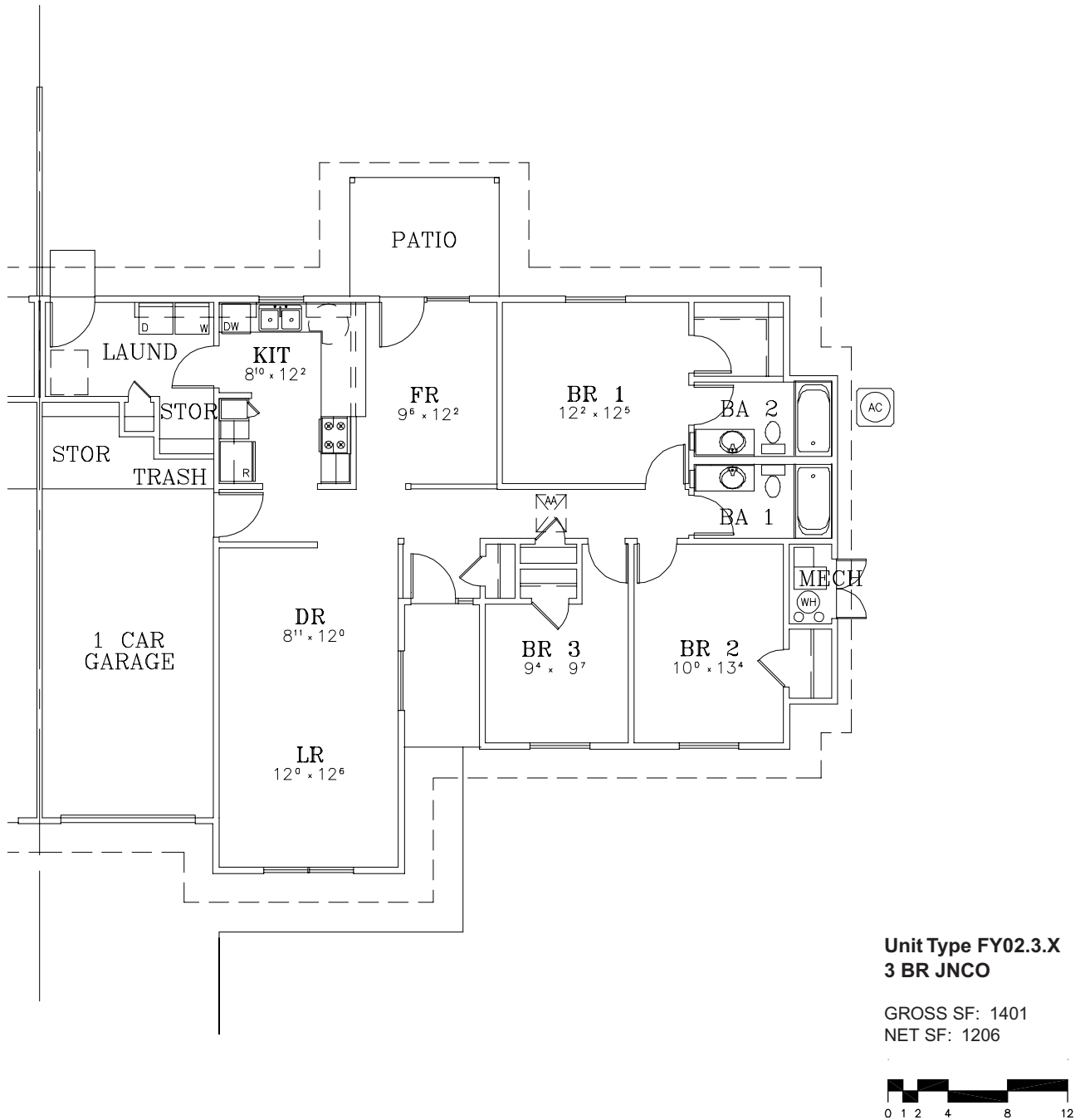
Photo not available.

4.3.7.2 Unit Type FY02.3.X Fy96-02 Replacement

Construction on the one story, three bedroom duplex was begun in 2001. It is of standard wood frame construction with concrete slab on grade. Exterior walls are stucco. One car garage is provided.

This unit type was not assessed.

	Existing
Floor Plan Type:	FY02.3.X
Gross Floor Area:	1401 sf
Net Floor Area:	1206 sf
Number of Bedrooms:	3
Number of Bathrooms:	2
Permanent Designation:	JNCO
CAM Rating:	5.00
FHU Assessed:	N/A
Number of FHUs of this Type:	36

**EXISTING**

4.3.7.2.1 Unit Type FY02.3.X

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$0
Structural/Foundation/Exterior Walls	\$0
Structural/Other Building Elements	\$0
Mechanical	\$0
Electrical	\$0
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$0
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$0
ACF (0.98) Adjusted Subtotal	\$0
SIOH @3.00%	\$0
Contingency @5.00%	\$0
Adjusted Subtotal (FY2001\$)	\$0
Escalation @3.33%	\$0
Total Unit Improvement Cost (FY2003\$)	\$0

this page left intentionally blank.

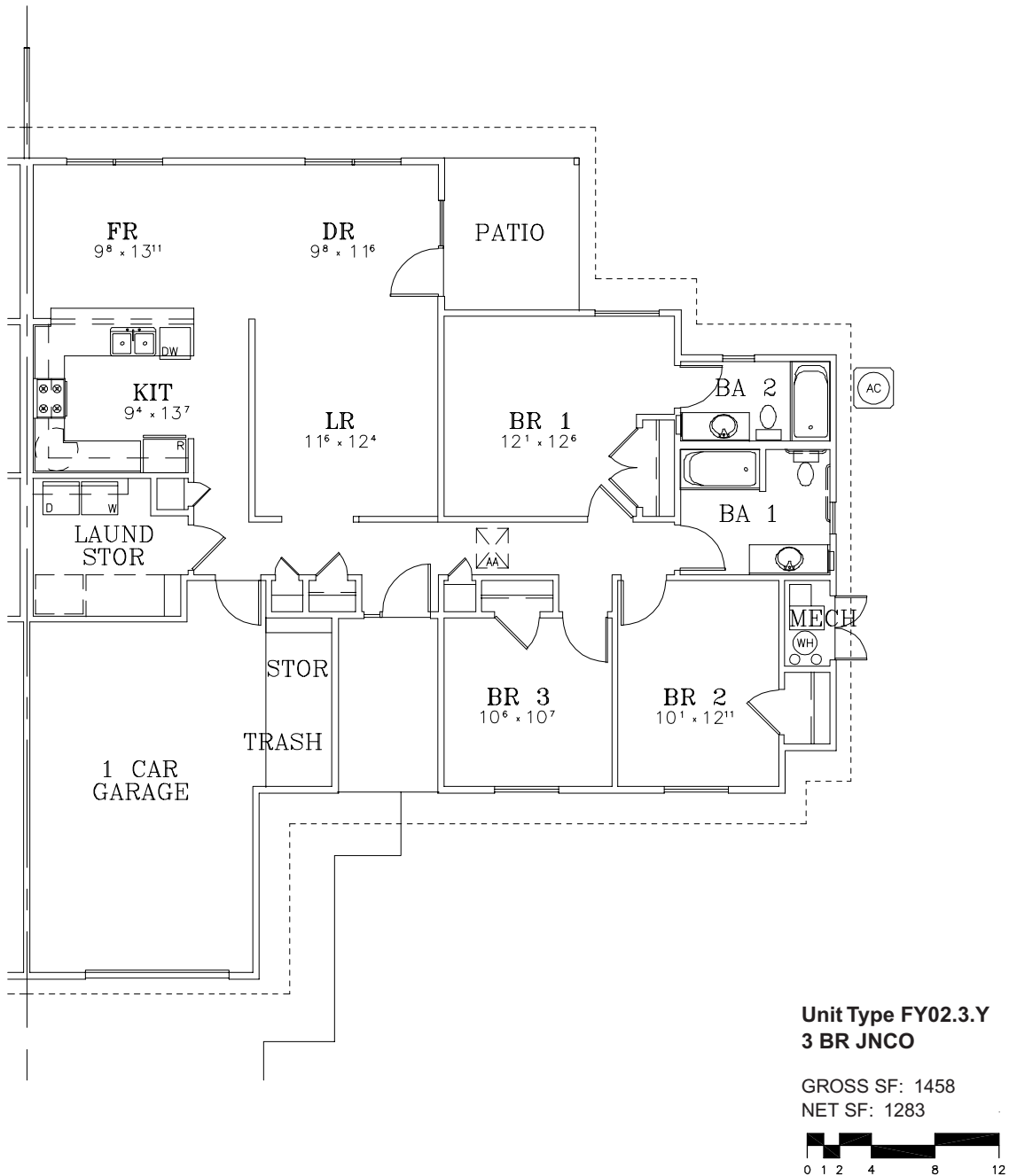
Photo not available.

4.3.7.3 Unit Type FY02.3.Y Fy96-02 Replacement

Construction on the one story, three bedroom duplex was begun in 2001. It is of standard wood frame construction with concrete slab on grade. Exterior walls are stucco. Attached one car garage is provided.

This unit type was not assessed.

	Existing
Floor Plan Type:	FY02.3.Y
Gross Floor Area:	1458 sf
Net Floor Area:	1283 sf
Number of Bedrooms:	3
Number of Bathrooms:	2
Permanent Designation:	JNCO
CAM Rating:	5.00
FHU Assessed:	N/A
Number of FHUs of this Type:	4

**EXISTING**

4.3.7.3.1 Unit Type FY02.3.Y

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$0
Structural/Foundation/Exterior Walls	\$0
Structural/Other Building Elements	\$0
Mechanical	\$0
Electrical	\$0
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$0
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$0
ACF (0.98) Adjusted Subtotal	\$0
SIOH @3.00%	\$0
Contingency @5.00%	\$0
Adjusted Subtotal (FY2001\$)	\$0
Escalation @3.33%	\$0
Total Unit Improvement Cost (FY2003\$)	\$0

this page left intentionally blank.



4.3.7.4 Unit Type FY96-02.2 Fy96-02 Replacement

This one-story, two-bedroom duplex was built in 1996 as FY96-02 replacement unit. It is of standard wood frame construction with a concrete slab on grade. Attached one car garage is provided.

This unit was unoccupied at time of visit. This unit type was being painted and cleaned for the next occupant to move into.

Exterior walls are stucco.

	Existing	Proposed
Floor Plan Type:	FY96-02.2	FY96-02.2
Gross Floor Area:	1139 sf	1139 sf
Net Floor Area:	922 sf	922 sf
Number of Bedrooms:	2	2
Number of Bathrooms:	1	1
Permanent Designation:	JNCO	JNCO
CAM Rating:	3.86	
FHU Assessed:	2062A Bernilillo	
Number of FHUs of this Type:	4	4

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood truss; good condition; approximately 8-inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: slope roof; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition; downspouts empty onto splashblocks.
- Chimneys: none; not required.
- Fire Walls: none; required; gypsum wall board on only one side of garage wall studs.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: fiberglass; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: none; aluminum clad patio doors at rear patio and Dining Room in good condition.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: metal; good condition.

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; meets minimum dimensions; current AF standard is two car garage if site allows; refer to House Plan Suitability.



Rear elevation



Left side elevation



Kitchen



Bathroom 1

HCP

- Garage Door: metal; good condition; no electric opener.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; fair condition; undersized by 40 sf; rear patio is covered by roof structure.
- Balcony: none; not required.
- Storage Areas: located in garage; good condition.
- Trash Enclosures: located in garage; good condition.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing is along rear property line; stucco wall between units provides privacy.
- Landscaping: grass and trees; fair condition; sparsely spaced, no mature trees.

Mechanical

- Gas Service: iron pipe; good condition.
- Water Service: polyvinyl chloride; good condition.
- Drain/Waste/Vent: polyvinyl chloride; good condition.
- Water Heater: gas, 40 gallon; good condition.
- Heating System: gas; good condition.
- Cooling System - Interior: direct exchange coil; good condition.
- Cooling System - Exterior: direct exchange coil; good condition.
- Ductwork: galvanized; good condition.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; good condition.

Electrical

- Electrical Panel: 150 amp; excellent condition.
- Receptacles: 15 amp; excellent condition.
- GFCI Receptacles/Breakers: receptacles; excellent condition; for Kitchen, bathrooms and exterior.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current, good condition; with battery back-up.

- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition; adequate quantities.
- Cable Hookups: coaxial; good condition; adequate quantities.
- Service Disconnect: 150 amp; good condition; main circuit breaker in panel.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: hollow core; good condition; painted.
- Doors - Closet: hollow core; good condition; painted.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent eat-at-counter.

- Cabinets: wood; good condition.
- Counter Tops: laminated; fair condition; one bad seam, and a few chips at edge of counter.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.

- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition; textured finish.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition; textured finish.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 1 and 2.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble enclosure.
- Flooring: vinyl sheet; fair condition; slightly worn at toilet.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition; with window.
- Interior Hardware: metal; good condition.

Bathroom #2

- None; not required for this unit type.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: room; good condition; adequate size; adjacent to Kitchen; provides outside entrance.
- Flooring: vinyl composition tile; fair condition; discolored by washer/dryer.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wood; good condition.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed or whole housed 1987 or later and more than two years old; probability of lead content is low.
- Lead Based Paint: unit constructed after 1977; therefore probability of lead based paint content is low.
- Asbestos: unit constructed after 1982; therefore probability of asbestos contamination is low.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: unit is located in moderate to heavy zone on the termite infestation probability map; however, termites have not been found in units at this base.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; meets minimum dimensions.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: underground residential distribution; good condition; from pad mounted transformer.
- Water Service Lateral from Main: polyvinyl chloride; good condition.

- Sewage Service Lateral to Main: polyvinyl chloride; good condition.
- Gas Service to House from Main: polyethylene; good condition.
- Grading/Drainage: surface; good condition.

House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bathroom for Bedroom 1: not required for two-bedroom unit.
- Bedroom 2: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bedroom 3: none; not required.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: none; not required for two bedroom unit.
- Dining Room: standard; meets minimum area and dimension requirements; adjacent to Kitchen, Living Room and outdoor space.
- Living Room: standard; meets minimum area and dimension requirements; smoke detector serves Living Room/Kitchen.
- Kitchen: standard; meets minimum area and dimension requirements; good relationship to living areas, outdoor space, natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single car garage only (or none); compatible with house architecture; floor 6-inches below main level; AF standard is two car garage if site allows; site allows single garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate function relationship; appropriate egress; adequate entry closet space.
- Architectural Aesthetics: good; character suitable for region, location; good massing; suitable for future additions.

RECOMMENDATIONS

Roof

- Fire Walls: install proper gypsum wall board rated assembly between units, full height to underside of roof deck.

Structural - Foundation/Exterior Walls

- Doors - Storm/Screen: install aluminum screen/storm door.

Structural - Other Building Elements

- Garage Door: provide electric garage door opener.
- Patio/Deck: enlarge patio to meet minimum requirements.
- Landscaping: plant climate appropriate ground cover and landscaping.

Mechanical

- Fire Protection: provide an approved disposable fire extinguisher.

Electrical

- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

General - All but Kitchen, Baths, Laundry

No recommendation.

Kitchen

- Counter Tops: provide new plastic laminated counter tops per proposed plan.

Bathroom #1

- Flooring: remove existing flooring and install new sheet vinyl.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

- Flooring: replace vinyl composition tile.

Special Assessments

- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

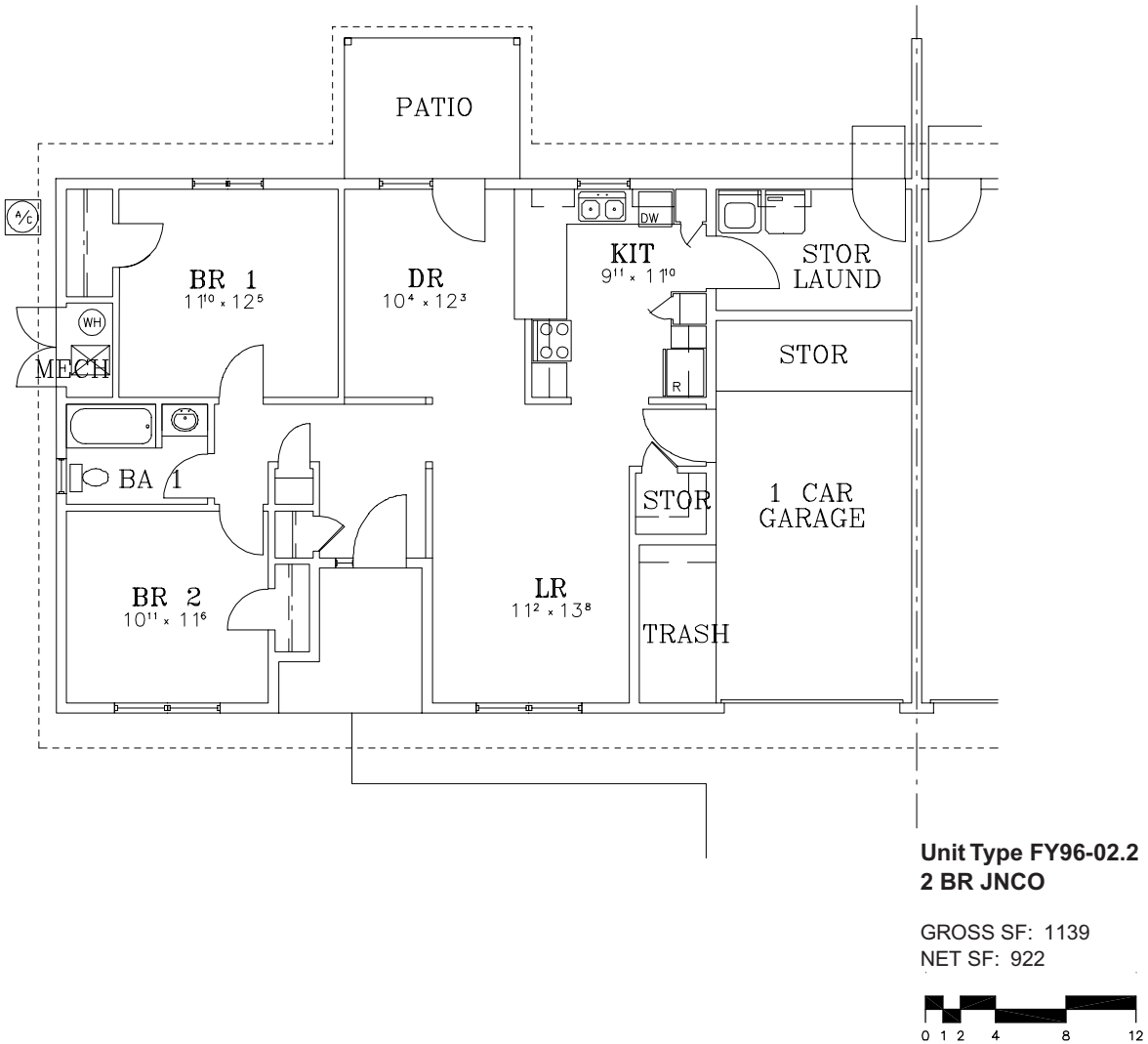
House Sitework

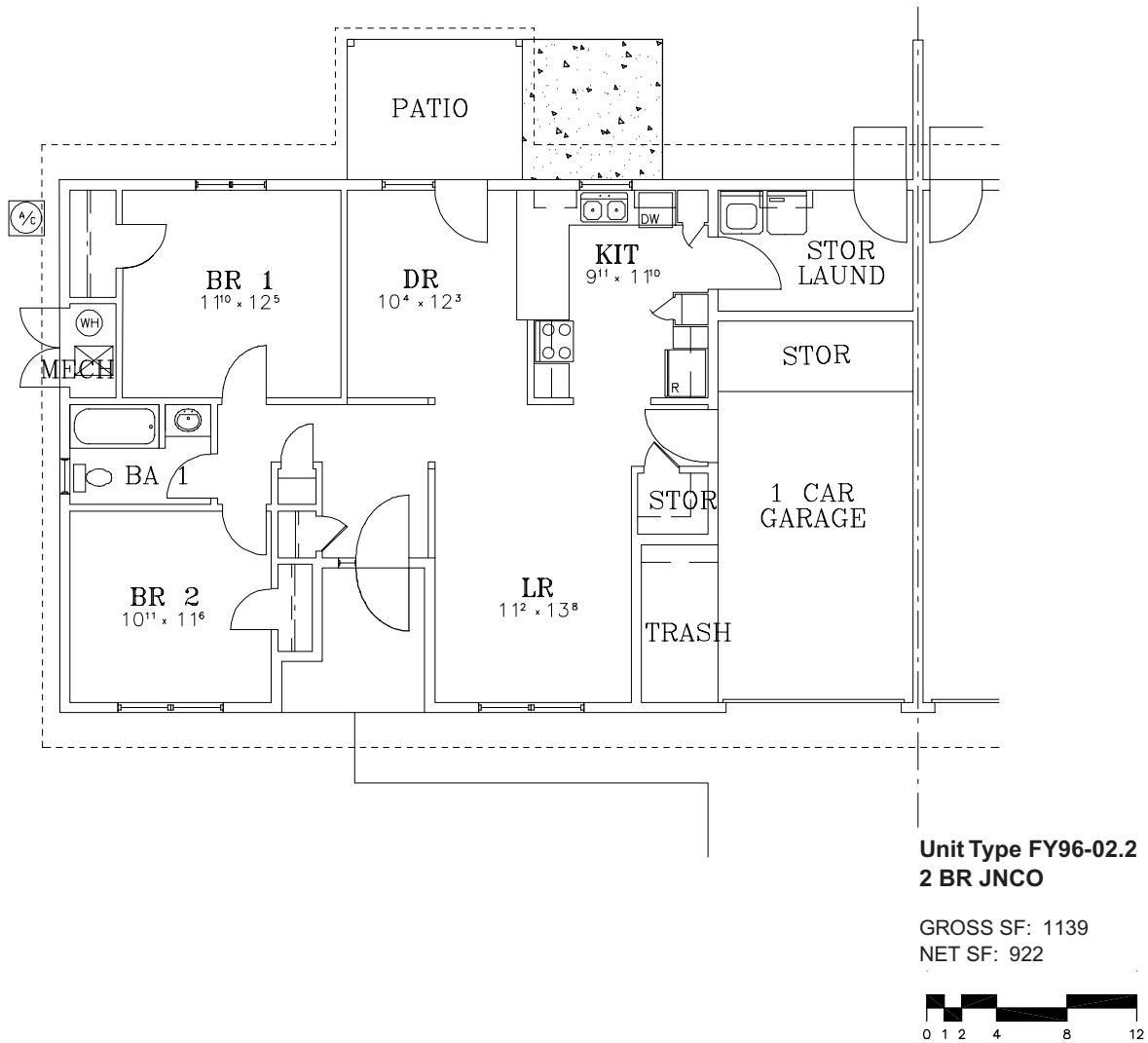
No recommendation.

House Plan Suitability

- Bathroom for Bedroom 2,3,4: the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to increase counter space.

this page left intentionally blank

**EXISTING**

**PROPOSED**

4.3.7.4.1 Unit Type FY96-02.2

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$426
Structural/Foundation/Exterior Walls	\$235
Structural/Other Building Elements	\$4,881
Mechanical	\$0
Electrical	\$99
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$519
Bathroom #1	\$309
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$407
Special Assessments	\$1,149
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$8,025
ACF (0.98) Adjusted Subtotal	\$7,864
SIOH @3.00%	\$236
Contingency @5.00%	\$405
Adjusted Subtotal (FY2001\$)	\$8,505
Escalation @3.33%	\$283
Total Unit Improvement Cost (FY2003\$)	\$8,789



4.3.7.5 Unit Type FY96-02.3.W Fy96-02 Replacement

This one-story, three-bedroom duplex was built in 1996. It is of standard wood frame construction with a concrete slab on grade. Attached one car garage is provided.

This unit was occupied at time of visit. This unit type has not received any renovation improvement work.

Exterior walls are stucco.

	Existing	Proposed
Floor Plan Type:	FY96-02.3.W	FY96-02.3W
Gross Floor Area:	1383 sf	1383 sf
Net Floor Area:	1197 sf	1197 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	JNCO	JNCO
CAM Rating:	3.88	
FHU Assessed:	2061A Bernalillo Court	
Number of FHUs of this Type:	36	36

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood truss; good condition; approximately 8-inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: slope roof; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition; downspouts empty onto splashblocks.
- Chimneys: none; not required.
- Fire Walls: none; required; gypsum wall board on only one side of garage wall studs.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: none; aluminum clad patio doors at rear patio and Dining Room in good condition.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: brass; fair condition; entry doors do not have a dead bolt.

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; meets minimum dimensions; current AF standard



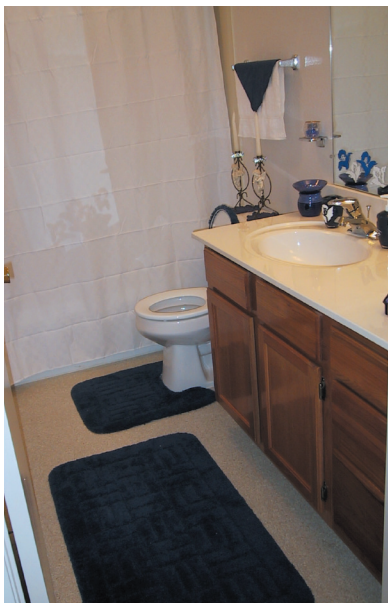
Rear elevation



Left side elevation



Kitchen



Bathroom 1

is two car garage if site allows; refer to House Plan Suitability.

- Garage Door: metal; good condition; no electric opener.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; fair condition; undersized by 40 sf; rear patio is covered by roof structure.
- Balcony: none; not required.
- Storage Areas: located in garage; good condition.
- Trash Enclosures: located in garage; good condition.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; good condition; fencing is along one side of unit and does provide a private outdoor space.
- Landscaping: grass and trees; good condition.

Mechanical

- Gas Service: steel; good condition.
- Water Service: polyvinyl chloride; good condition.
- Drain/Waste/Vent: polyvinyl chloride; good condition.
- Water Heater: gas, 40 gallon; good condition.
- Heating System: gas; good condition.
- Cooling System - Interior: direct exchange coil; good condition.
- Cooling System - Exterior: direct exchange coil; good condition.
- Ductwork: galvanized; good condition.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: digital; good condition.

Electrical

- Electrical Panel: 150 amp; good condition.
- Receptacles: 20 amp; excellent condition.
- GFCI Receptacles/Breakers: receptacles; good condition; for Kitchen, bathrooms and exterior.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.

- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition; adequate quantities.
- Cable Hookups: coaxial; good condition; adequate quantities.
- Service Disconnect: 150 amp; good condition; main circuit breaker in panel.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: wood; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent eat-at-counter.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.
- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.



Bathroom 2

- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition; textured finish.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition; textured finish.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble surround.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble surround.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.

- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: room; good condition; adequate size; adjacent to Kitchen.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wood; good condition.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed or whole housed 1987 or later and more than two years old; probability of lead content is low.
- Lead Based Paint: unit constructed after 1977; therefore probability of lead based paint content is low.
- Asbestos: unit constructed after 1982; therefore probability of asbestos contamination is low.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: unit is located in moderate to heavy zone on the termite infestation probability map; however, termites have not been found in units at this base.

House Sitework

- Walkways to House: concrete; good condition; public sidewalk connects to drive, not directly to house entry.
- Driveways to House: concrete; good condition; only one car can park on driveway.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: underground residential distribution; good condition.
- Water Service Lateral from Main: polyvinyl chloride; good condition.
- Sewage Service Lateral to Main: polyvinyl chloride; good condition.
- Gas Service to House from Main: polyethylene; good condition.
- Grading/Drainage: surface; good condition; approximately two feet of gravel is provided from foundation wall out for drainage.

House Plan Suitability

- Bedroom 1: above standard; exceeds minimum requirements for area and dimension requirements; closet space exceeds minimum; smoke detector in bedroom.
- Bathroom for Bedroom 1: standard; appropriate size for function.
- Bedroom 2: substandard; does not meet minimum requirements for area by 6.7 sf and dimension by 4 inches; closet space meets minimum; smoke detector in bedroom.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: standard; meets minimum area and dimension.
- Dining Room: standard; meets minimum area and dimension requirements; adjacent to Kitchen, Living Room and outdoor space.

- Living Room: above standard; exceeds minimum area and dimension requirements; smoke detector serves Living/Dining Room.
- Kitchen: standard; meets minimum area and dimension requirements; good relationship to living areas, outdoor space, has natural light; GFCI requirements met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single car garage only (or none); compatible with house architecture; floor 6-inches below main level; AF standard is two car garage if site allows; site allows single garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate function relationship; appropriate egress; adequate entry closet space.
- Architectural Aesthetics: good; character suitable for region, location; good massing; suitable for future additions.

RECOMMENDATIONS

Roof

- Fire Walls: install proper gypsum wall board rated assembly between units; full height to underside of roof deck.

Structural - Foundation/Exterior Walls

- Doors - Storm/Screen: install aluminum screen/storm door.
- Doors - Hardware: install new hardware and dead bolt lock sets on entry and patio door.

Structural - Other Building Elements

- Garage Door: provide electric garage door opener.
- Patio/Deck: enlarge concrete patio per proposed plan.

Mechanical

- Fire Protection: provide an approved disposable fire extinguisher.

Electrical

- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

General - All but Kitchen, Baths, Laundry

No recommendation.

Kitchen

No recommendation.

Bathroom #1

No recommendation.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

No recommendation.

Special Assessments

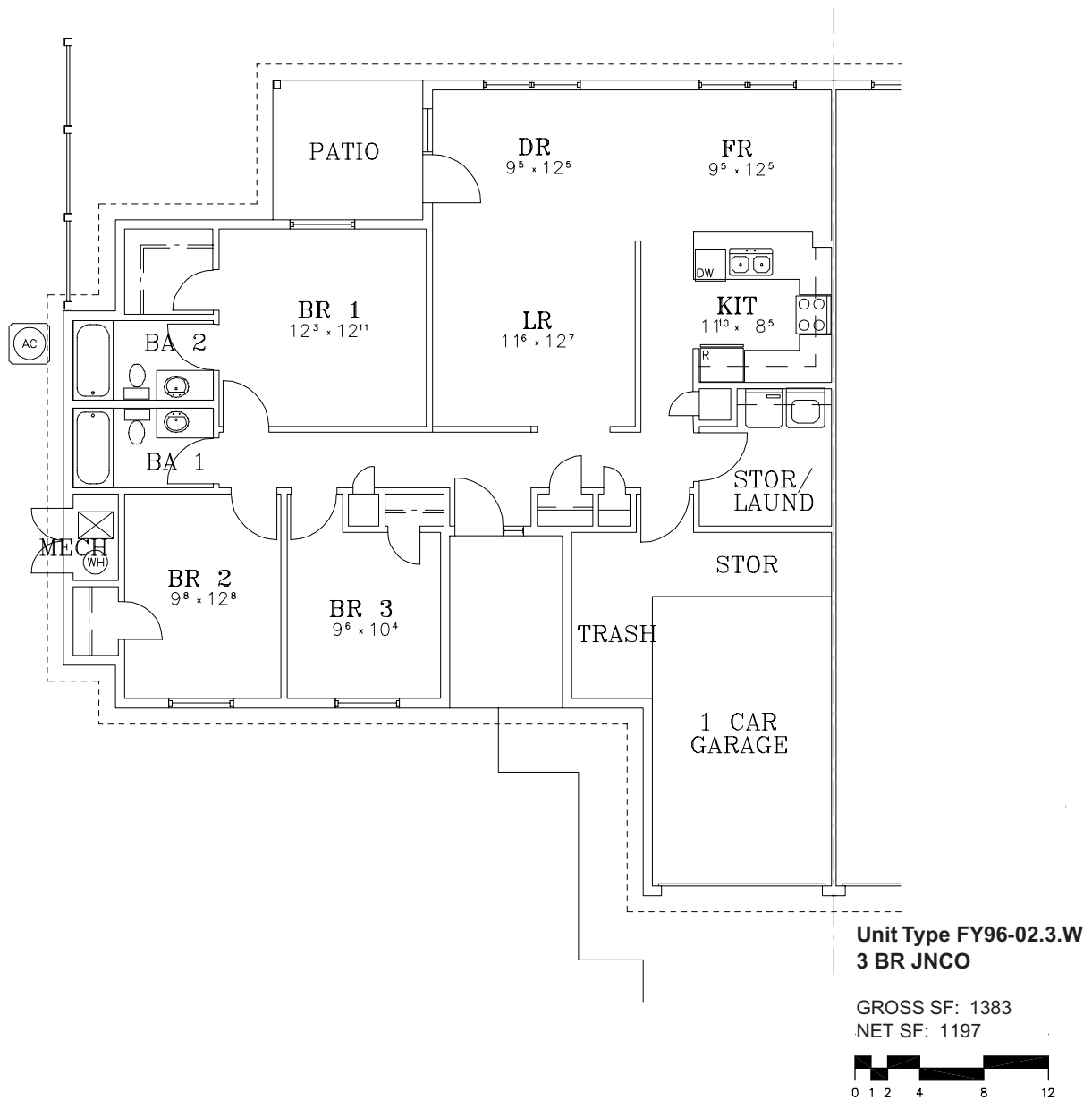
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

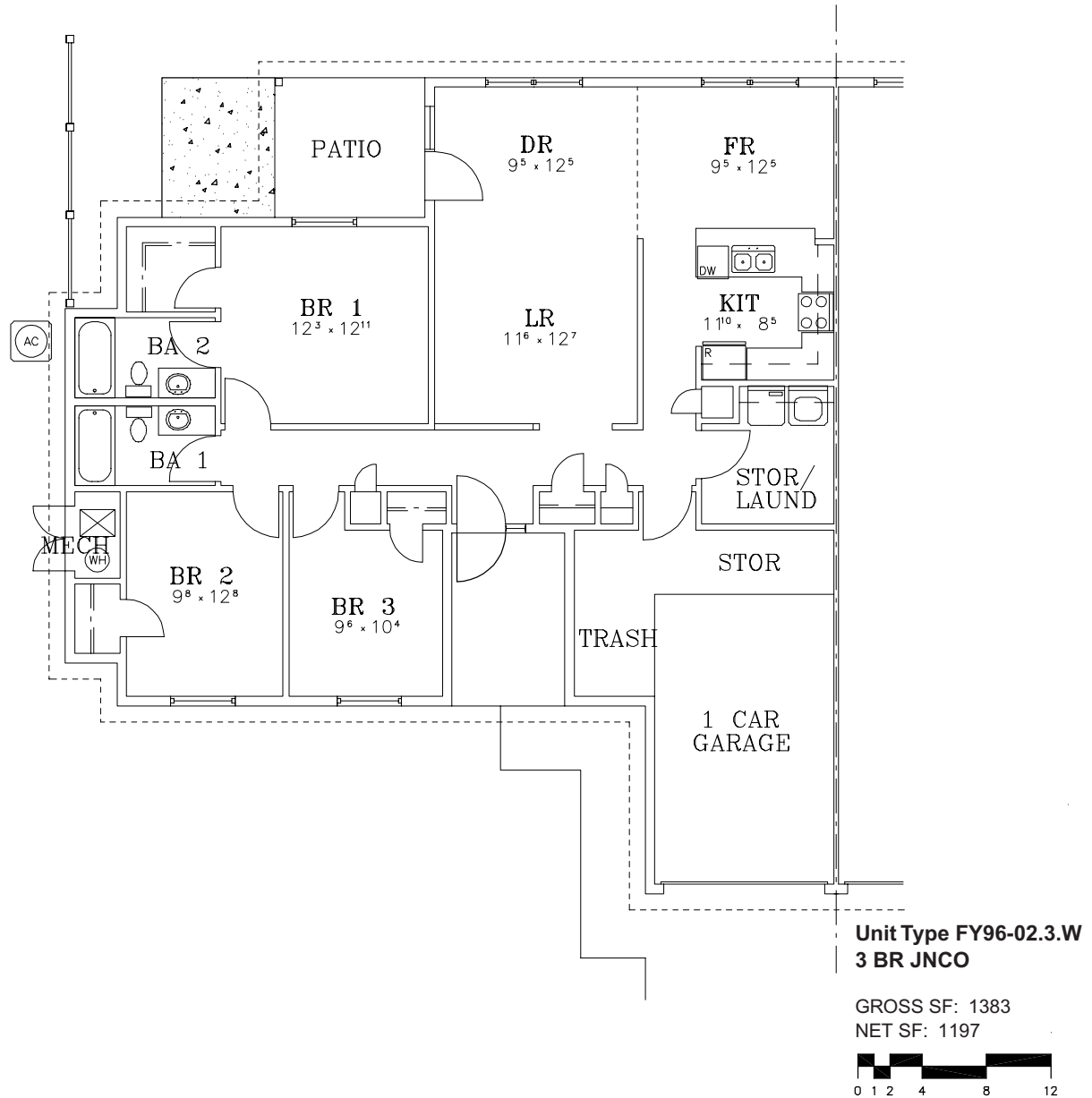
House Sitework

No recommendation.

House Plan Suitability

- Bedroom 2: the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to enlarge bedroom.
- Bathroom for Bedroom 2,3,4: the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to increase counter space.

**EXISTING**

**PROPOSED**

4.3.7.5.1 Unit Type FY96-02.3.W

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$616
Structural/Foundation/Exterior Walls	\$597
Structural/Other Building Elements	\$374
Mechanical	\$0
Electrical	\$99
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$1,288
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$2,975
ACF (0.98) Adjusted Subtotal	\$2,915
SIOH @3.00%	\$87
Contingency @5.00%	\$150
Adjusted Subtotal (FY2001\$)	\$3,153
Escalation @3.33%	\$105
Total Unit Improvement Cost (FY2003\$)	\$3,258



4.3.7.6 Unit Type FY96-02.3.X Fy96-02 Replacement

This one-story, three-bedroom duplex was built in 1996. It is of standard wood frame construction with a concrete slab on grade. Attached one car garage is provided.

This unit was occupied at time of visit. This unit type has not received any renovation improvement work.

Exterior walls are stucco.

	Existing	Proposed
Floor Plan Type:	FY96-02.3.X	FY96-02.3X
Gross Floor Area:	1341 sf	1341 sf
Net Floor Area:	1123 sf	1123 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	JNCO	JNCO
CAM Rating:	3.85	
FHU Assessed:	2059A Bernalillo Court	
Number of FHUs of this Type:	32	32

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood truss; good condition; approximately 8-inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: slope roof; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition; downspouts empty onto splashblocks.
- Chimneys: none; not required.
- Fire Walls: none; required; gypsum wall board on only one side of garage wall studs.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: none; aluminum clad patio doors at rear patio and Dining Room in good condition.
- Doors - Storm/Screen: none; required.
- Doors - Hardware: brass; good condition.

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; meets minimum dimensions; current AF standard is two car garage if site allows; refer to House Plan Suitability.



Rear elevation



Left side elevation



Kitchen



Bathroom 1

- Garage Door: metal; good condition; no electric opener.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; fair condition; undersized 40 sf; rear patio is covered by roof structure.
- Balcony: none; not required.
- Storage Areas: located in garage; good condition.
- Trash Enclosures: located in garage; good condition.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; fair condition; fencing is along one rear side of unit only.
- Landscaping: grass and trees; good condition; trees provide shade and sparsely planted shrubbery.

Mechanical

- Gas Service: steel; good condition.
- Water Service: polyvinyl chloride; good condition.
- Drain/Waste/Vent: polyvinyl chloride; good condition.
- Water Heater: gas, 40 gallon; good condition.
- Heating System: gas; good condition.
- Cooling System - Interior: direct exchange coil; good condition.
- Cooling System - Exterior: direct exchange coil; good condition.
- Ductwork: galvanized, insulated; fair condition; dirty.
- Register/Diffusers: metal; good condition
- Fire Protection: none; required.
- Thermostat: electric; good condition.

Electrical

- Electrical Panel: 150 amp; excellent condition.
- Receptacles: 15 amp; good condition.
- GFCI Receptacles/Breakers: receptacles; good condition; for Kitchen, bathrooms and exterior.
- Wiring: 3 wire; good condition.
- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; good condition; with battery back-up.

- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition; adequate quantities.
- Cable Hookups: coaxial; good condition; adequate quantities.
- Service Disconnect: 150 amp; excellent condition; main circuit breaker in panel.
- Light Switches: single post, single throw; good condition.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: hollow core; good condition; painted.
- Doors - Closet: hollow core; good condition; painted.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; fair condition; additional support of shelf and rod needed.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.



Bathroom 2

Kitchen

Kitchen is U-shaped with adjacent eat-at-counter.

- Cabinets: wood; good condition.
- Counter Tops: laminate; fair condition; noticeable seams; delamination of edges.
- Sink: stainless sink, double; good condition.

- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition; textured finish.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition; textured finish.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble surround.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble enclosure.

- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition.
- Interior Hardware: metal; good condition.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: room; good condition; adequate size; adjacent to Kitchen; with outside entrance.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wood; good condition.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed or whole housed 1987 or later and more than two years old; probability of lead content is low.
- Lead Based Paint: unit constructed after 1977; therefore probability of lead based paint content is low.
- Asbestos: unit constructed after 1982; therefore probability of asbestos contamination is low.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: unit is located in moderate to heavy zone on the termite infestation probability map; however, termites have not been found in units at this base.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; meets minimum dimensions.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: underground residential distribution; good condition.
- Water Service Lateral from Main: polyvinyl chloride; good condition.
- Sewage Service Lateral to Main: polyvinyl chloride; good condition.
- Gas Service to House from Main: polyethylene; good condition.
- Grading/Drainage: surface; good condition.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area requirements by 8.5 sf, does not meet minimum dimensions; closet space exceeds minimum; smoke detector in bedroom.
- Bathroom for Bedroom 1: standard; appropriate size for function; adequate counter space.
- Bedroom 2: standard; meets minimum area requirements but not minimum dimension requirements by 4 inches; closet space meets minimum; smoke detector in bedroom.
- Bedroom 3: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; adequate counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: above standard; meets minimum area and dimension requirements; not required for rank.
- Dining Room: standard; meets minimum area and dimension requirements; continuous with living spaces.
- Living Room: substandard; does not meet minimum area by 46 sf and below minimum dimension requirements by 2'-5".

- Kitchen: standard; meets minimum area and dimension requirements; good relationship to living areas, outdoor space, has natural light; secondary eat-at-counter.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: attached single car garage only (or none); compatible with house architecture; floor 6-inches below main level; AF standard is two car garage if site allows; site allows single garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate function relationship; appropriate egress; adequate entry closet space.
- Architectural Aesthetics: good; character suitable for region, location; good massing; suitable for future additions.

RECOMMENDATIONS

Roof

- Fire Walls: install proper gypsum wall board rated assembly between units; full height to underside of roof deck.

Structural - Foundation/Exterior Walls

- Doors - Storm/Screen: install aluminum screen door.

Structural - Other Building Elements

- Garage Door: provide electric garage door opener.
- Patio/Deck: expand concrete patio per proposed plan.
- Privacy Fencing: add fencing to other side of patio.

Mechanical

- Ductwork: needs to be cleaned.
- Fire Protection: provide an approved disposable fire extinguisher.

Electrical

- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

General - All but Kitchen, Baths, Laundry

- Closet Shelving: install additional support bracket; provide closet rod per proposed plan.

Kitchen

- Counter Tops: install new Kitchen counter tops per proposed plan.

Bathroom #1

No recommendation.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

No recommendation.

Special Assessments

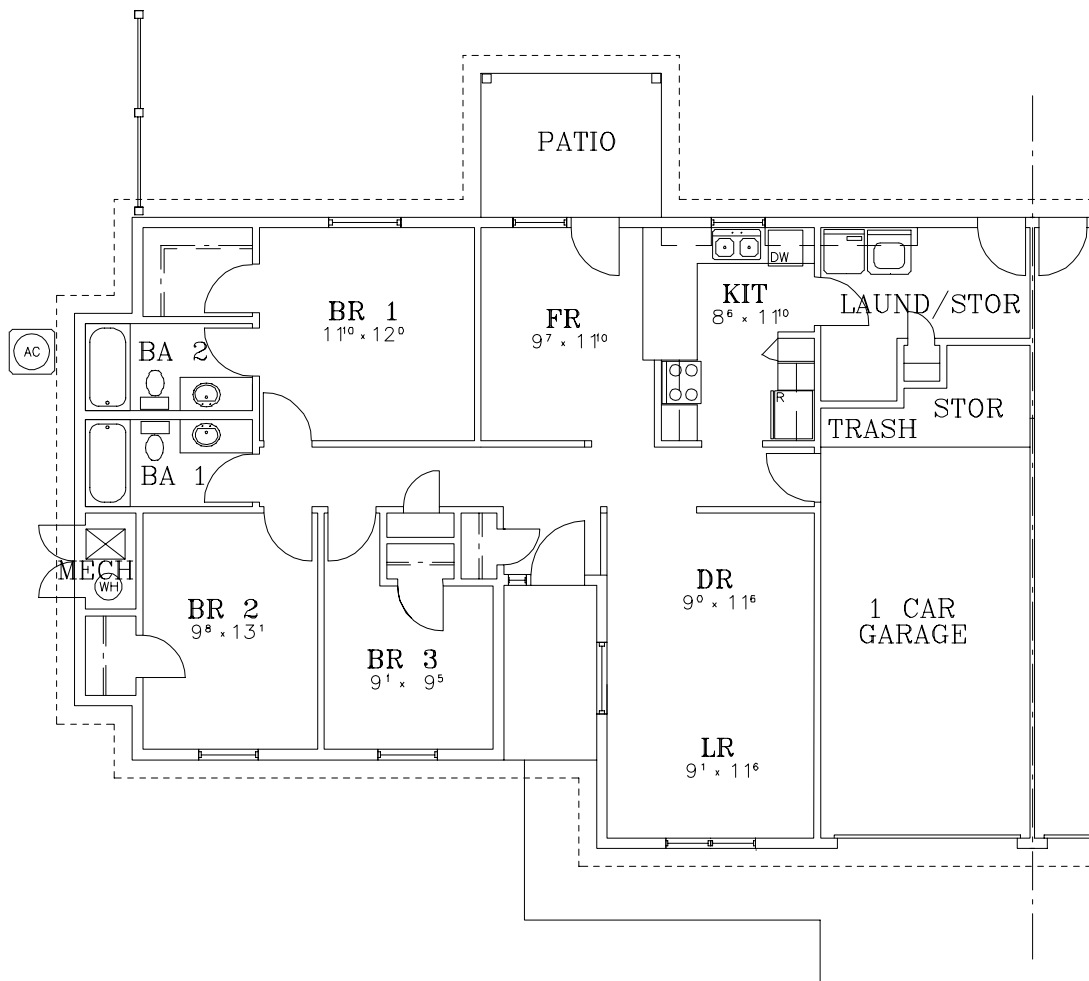
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

House Sitework

No recommendation.

House Plan Suitability

- Bedroom 1: the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to enlarge bedroom.
- Bedroom 2: the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to enlarge bedroom.
- Living Room: the Living and Dining Rooms are one continuous space which offers flexibility for layout of the rooms; the unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to enlarge Living Room.

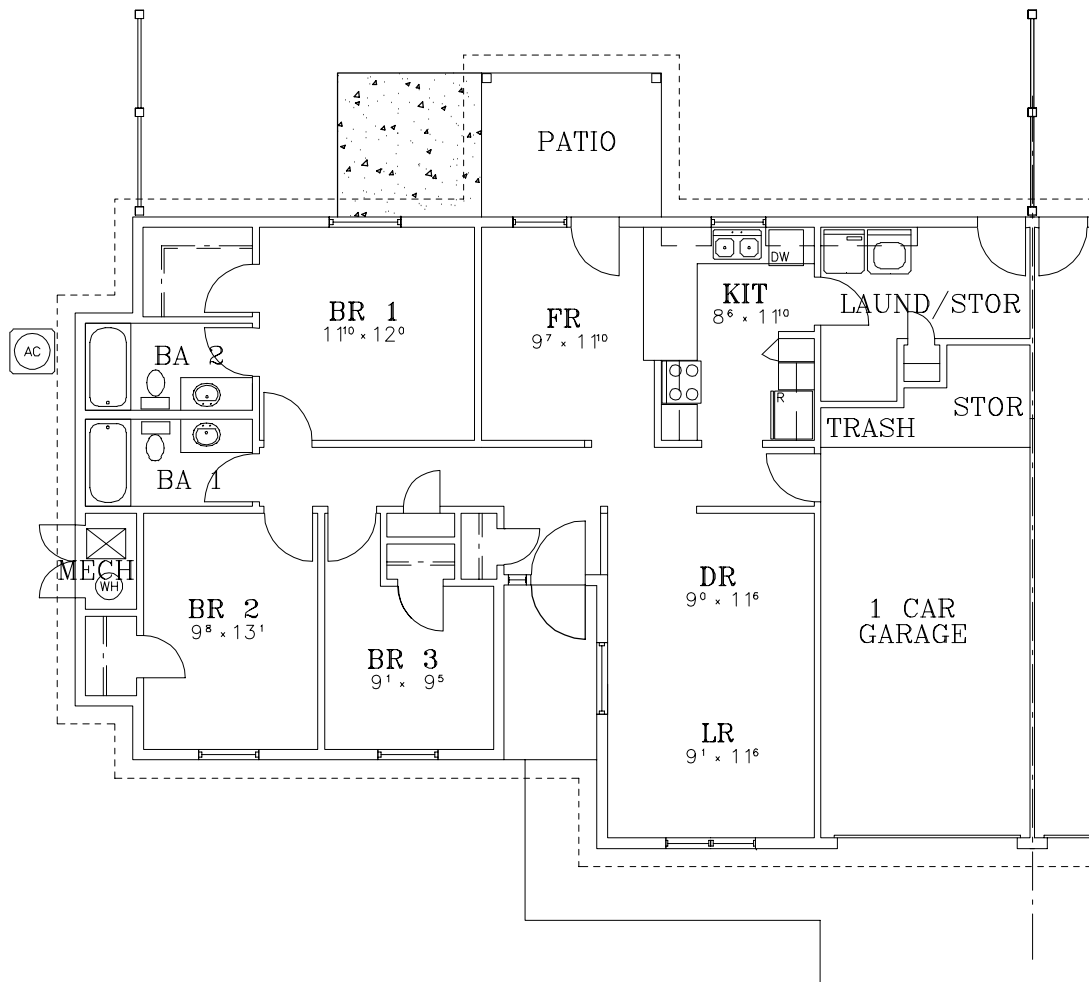


**Unit Type FY96-02.3.X
3 BR JNCO**

GROSS SF: 1341
NET SF: 1123



EXISTING



Unit Type FY96-02.3.X
3 BR JNCO

GROSS SF: 1341
 NET SF: 1123



PROPOSED

4.3.7.6.1 Unit Type FY96-02.3.X

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$365
Structural/Foundation/Exterior Walls	\$235
Structural/Other Building Elements	\$562
Mechanical	\$658
Electrical	\$99
General/All but Kitchen, Baths, Laundry	\$263
Kitchen	\$1,241
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$1,264
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$4,688
ACF (0.98) Adjusted Subtotal	\$4,594
SIOH @3.00%	\$138
Contingency @5.00%	\$237
Adjusted Subtotal (FY2001\$)	\$4,968
Escalation @3.33%	\$165
Total Unit Improvement Cost (FY2003\$)	\$5,134



4.3.7.7 Unit Type FY96-02.3.Y Fy96-02 Replacement

This one-story, three-bedroom duplex was built in 1996. It is of standard wood frame construction with a concrete slab on grade. One car garage is provided. Exterior walls are stucco.

The SNCO unit is 53 sf deficient for the improvement minimum GSF of 1,530. However, it is not cost effective to add GSF to this unit.

This unit was occupied at time of visit. This unit type has not received any renovation improvement work.

	Existing	Proposed
Floor Plan Type:	FY96-02.3.Y	FY96-02.3.Y
Gross Floor Area:	1388 sf	1477 sf
Net Floor Area:	1205 sf	1245 sf
Number of Bedrooms:	3	3
Number of Bathrooms:	2	2
Permanent Designation:	JNCO	JNCO/SNCO
CAM Rating:	3.90	
FHU Assessed:	2082B Eglin Avenue, JNCO	
Number of FHUs of this Type:	4	3/1

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood truss; good condition; approximately 8 inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; good condition.
- Roof Pitch: slope roof; good condition; meets 3 in 12 pitch minimum.
- Soffit/Fascia: aluminum; good condition.
- Flashing: aluminum; good condition.
- Gutters/Downspouts: aluminum; good condition; downspouts empty onto splashblocks.
- Chimneys: none; not required.
- Fire Walls: none; required; gypsum wall board on only one side of garage wall studs.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: wood frame; good condition.
- Exterior Wall Covering: stucco; good condition; stucco has been repaired/ patched without matching color.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; good condition.
- Doors - Sliding Glass: none; aluminum clad patio doors at rear patio and Dining Room in good condition.
- Doors - Storm/Screen: aluminum; good condition.
- Doors - Hardware: brass; fair condition; front entry door does not have a dead bolt.



Right side elevation



Rear elevation



Kitchen



Bathroom 1



Bathroom 1

Structural - Other Building Elements

- Garage/Carport: single garage; good condition; meets minimum dimensions; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: metal; good condition.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; fair condition; undersized by 46 sf; rear patio is covered by roof structure.
- Balcony: none; not required.
- Storage Areas: good condition; located in garage.
- Trash Enclosures: good condition; located in garage.
- Stairs (Exterior): none; one story unit.
- Crawl Space: none; slab-on-grade unit.
- Privacy Fencing: chain link; fair condition; fencing does not provide privacy for rear patio.
- Landscaping: grass and trees; fair condition; sparsely spaced, no mature trees.

Mechanical

- Gas Service: steel; good condition.
- Water Service: polyvinyl chloride; good condition.
- Drain/Waste/Vent: polyvinyl chloride; good condition.
- Water Heater: gas, 40 gallon; good condition.
- Heating System: gas; good condition.
- Cooling System - Interior: direct exchange coil; good condition.
- Cooling System - Exterior: direct exchange coil; fair condition.
- Ductwork: galvanized; good condition.
- Register/Diffusers: metal; good condition.
- Fire Protection: none; required.
- Thermostat: electric; good condition.

Electrical

- Electrical Panel: 150 amp; excellent condition.
- Receptacles: 15 amp; good condition.
- GFCI Receptacles/Breakers: receptacles; good condition; for Kitchen, bathrooms and exterior.
- Wiring: 3 wire; good condition.

- Lighting Fixtures: incandescent and fluorescent; good condition.
- Smoke Detectors: alternating current; excellent condition; with battery back-up.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; good condition; adequate quantities.
- Cable Hookups: coaxial; good condition; adequate quantities.
- Service Disconnect: 150 amp; excellent condition; main circuit breaker in panel.
- Light Switches: single post, single throw; good condition.

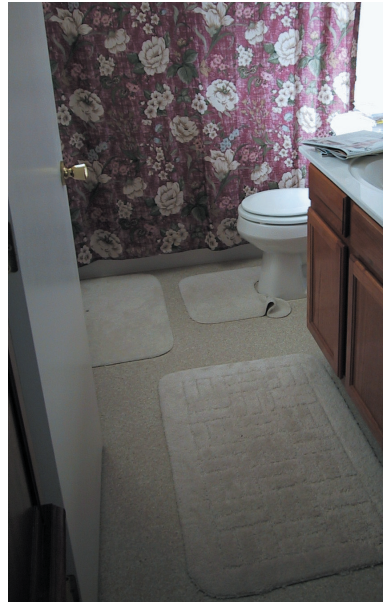
General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; good condition.
- Flooring - Wood: none; not required.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Molding & Trim: wood; good condition.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; good condition.
- Doors - Closet: wood; good condition.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; good condition.
- Interior Hardware: metal; good condition.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is U-shaped with adjacent eat-at-counter.

- Cabinets: wood; good condition.
- Counter Tops: laminated; good condition.
- Sink: stainless sink, double; good condition.



Bathroom 2

- Sink Fixtures: metal; good condition.
- Refrigerator: standard; good condition.
- Range/Oven: gas; good condition.
- Vent Hood: exhaust fan; good condition.
- Dishwasher: standard; good condition.
- Garbage Disposal: standard; good condition.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition; textured finish.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition; textured finish.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 2 and 3.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.
- Tub/Shower: combination; good condition; cultured marble enclosure.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition; with window.
- Interior Hardware: metal; good condition.

Bathroom #2

Bathroom 2 serves Bedroom 1.

- Cabinets: wood; good condition.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: metal; good condition.
- Toilet: porcelain; good condition.

- Tub/Shower: combination; good condition; cultured marble enclosure.
- Flooring: vinyl sheet; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceilings: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Ventilation: exhaust fan; good condition; window also.
- Interior Hardware: metal; good condition.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: room; good condition; adequate size; adjacent to Kitchen; suitable.
- Flooring: vinyl composition tile; good condition.
- Walls: gypsum wall board; good condition.
- Wall Finish: painted; good condition.
- Ceiling: gypsum wall board; good condition.
- Ceiling Finish: painted; good condition.
- Plumbing Hookup: standard; good condition.
- Vent Hookup: standard; good condition.
- Shelving: wood; good condition.
- Interior Hardware: metal; good condition.

Special Assessments

- Water Quality (Lead): unit constructed or whole housed 1987 or later and more than two years old; probability of lead content is low.
- Lead Based Paint: unit constructed after 1977; therefore the probability of lead based paint is low.
- Asbestos: unit constructed after 1982; therefore probability of asbestos contamination is low.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: unit is located in moderate to heavy zone on the termite infestation probability map; however, termites have not been found in units at this base.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: underground residential distribution; good condition; from pad mounted transformer.
- Water Service Lateral from Main: polyvinyl chloride; good condition.
- Sewage Service Lateral to Main: polyvinyl chloride; good condition.
- Gas Service to House from Main: polyethylene; good condition.
- Grading/Drainage: surface; good condition.

House Plan Suitability

- Bedroom 1: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bathroom for Bedroom 1: standard; appropriate size for function.
- Bedroom 2: standard; meets minimum area and dimension requirements; closet space meets minimum; smoke detector in bedroom.
- Bedroom 3: above standard; exceeds minimum area and dimension requirements; closet space exceeds minimum; smoke detector in bedroom.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: standard; meets minimum area and dimension requirements.
- Dining Room: above standard; exceeds minimum area and dimension requirements.
- Living Room: substandard; does not meet minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements.
- Occupancy: appropriate image for occupying grade.

- Covered Parking: attached single car garage (or none); compatible with house architecture; floor 6 inches below main level; AF standard is two car garage if site allows; site allows single garage.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate function relationship; appropriate egress; inadequate entry closet space.
- Architectural Aesthetics: good; character suitable for region location; good massing; suitable for future additions.

RECOMMENDATIONS

Roof

- Fire Walls: install proper gypsum wall board rated assembly between units.

Structural - Foundation/Exterior Walls

- Exterior Wall Covering: paint stucco on unit to conceal previous repairs.
- Doors - Hardware: install new hardware and dead bolt lock on exterior entry door.

Structural - Other Building Elements

- Patio/Deck: increase patio size to meet minimum standards per proposed plan.
- Privacy Fence: install new privacy fence at patio per proposed plan.
- Landscaping: plant climate appropriate ground cover and landscaping.

Mechanical

- Cooling System - Exterior: replace air conditioning condensing unit.
- Fire Protection: provide an approved disposable fire extinguisher.

Electrical

- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.

General - All but Kitchen, Baths, Laundry

No recommendation.

Kitchen

No recommendation.

Bathroom #1

No recommendation.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

No recommendation.

Special Assessments

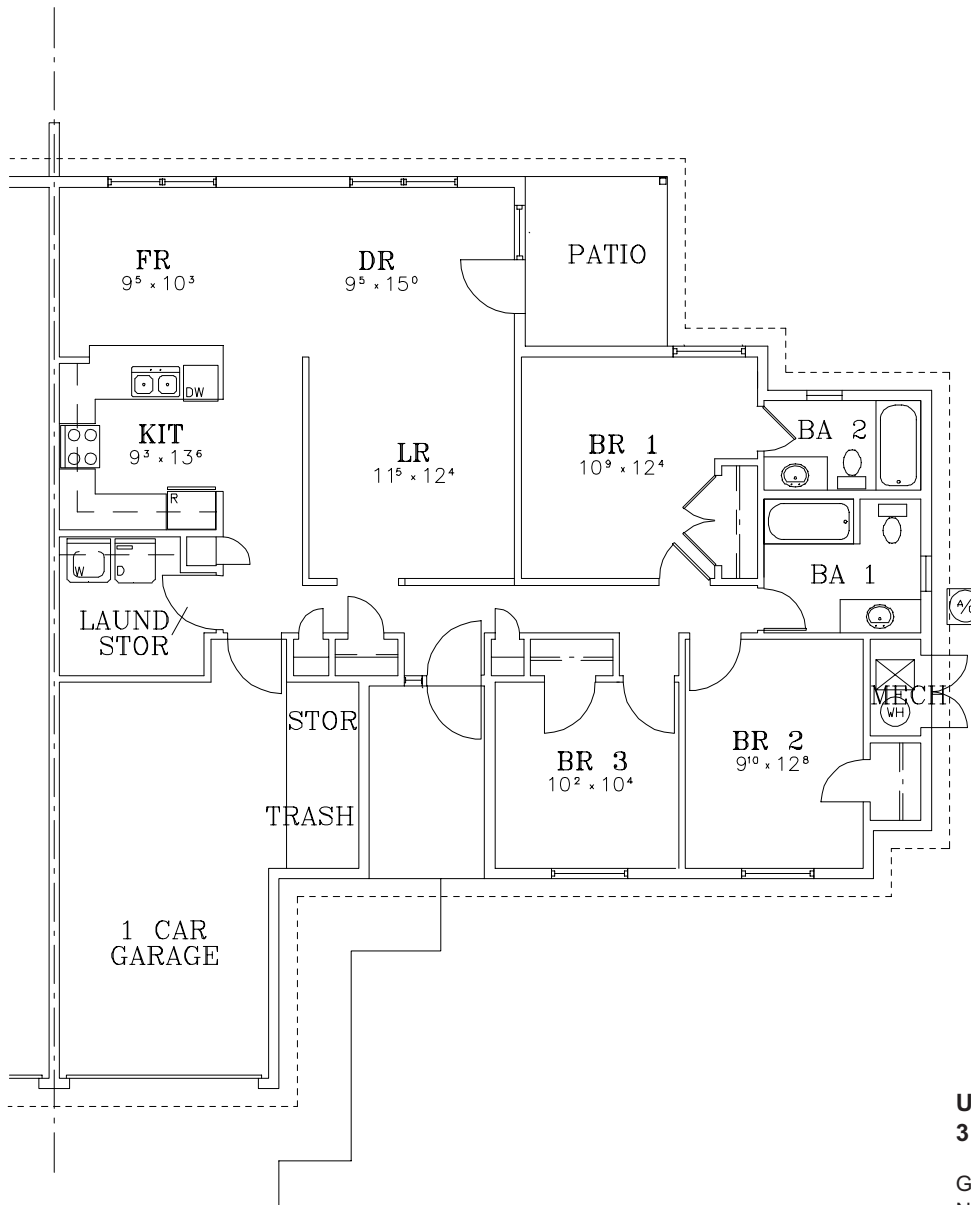
- Radon: continue to monitor for radon.
- Termites: treat regularly for termite prevention.

House Sitework

No recommendation.

House Plan Suitability

- Living Room: unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to expand Living Room.
- Overall Floor Plan: unit has been recently constructed, CAM score is above 3.75, therefore no recommendation to enlarge front entry closet.

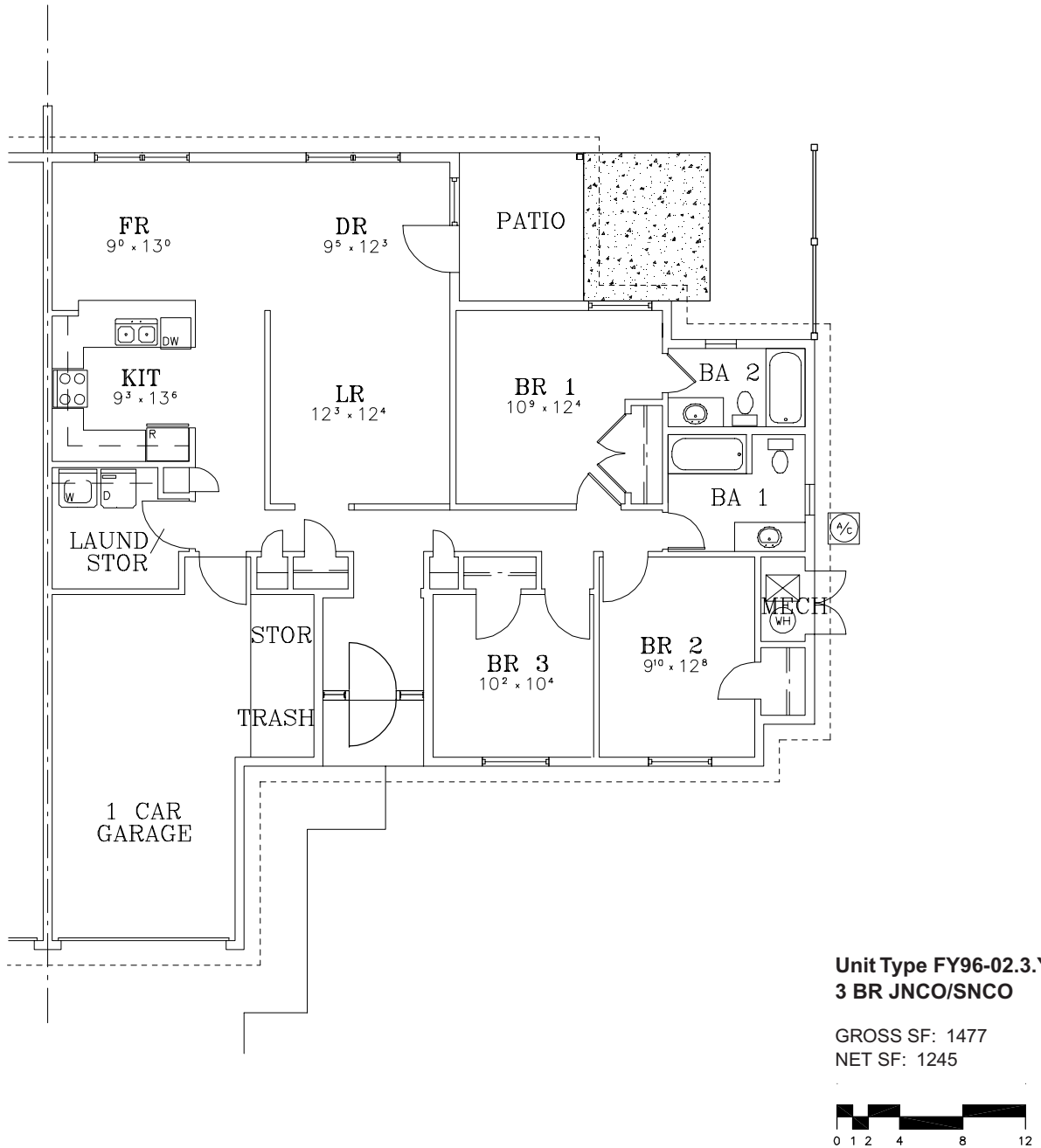


Unit Type FY96-02.3.Y
3 BR JNCO

GROSS SF: 1388
NET SF: 1205



EXISTING

**PROPOSED**

4.3.7.7.1 Unit Type FY96-02.3.Y

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$520
Structural/Foundation/Exterior Walls	\$1,108
Structural/Other Building Elements	\$4,916
Mechanical	\$6,170
Electrical	\$99
General/All but Kitchen, Baths, Laundry	\$0
Kitchen	\$0
Bathroom #1	\$0
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$1,342
House Sitework	\$0
House Plan Suitability	\$0
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$14,155
ACF (0.98) Adjusted Subtotal	\$13,872
SIOH @3.00%	\$416
Contingency @5.00%	\$714
Adjusted Subtotal (FY2001\$)	\$15,003
Escalation @3.33%	\$500
Total Unit Improvement Cost (FY2003\$)	\$15,502

4.3.8 Wherry 2200-2300 Area

Wherry 2200-2300 Area neighborhood is composed of four-plexes, duplexes and single-family homes.

this page left intentionally blank.



4.3.8.1 Unit Type WH.2.V Wherry 2200-2300 Housing

This one-story, two-bedroom duplex was built in 1956. It is of standard masonry construction with a concrete slab on grade. No garage/carport is provided.

originally constructed with flat roofs. Wood truss sloped asphalt roofs have been added.

Exterior walls are concrete block. Wherry neighborhood units are one story with ranch styling. The units were

This unit was occupied at time of visit. This unit type has received minor renovation improvement work.

	Existing	Proposed
Floor Plan Type:	WH.2.V	WH.2V
Gross Floor Area:	963 sf	1083 sf
Net Floor Area:	776 sf	913 sf
Number of Bedrooms:	2	2
Number of Bathrooms:	1	1
Permanent Designation:	JNCO	JNCO
CAM Rating:	3.07	
FHU Assessed:	2213D Hidalgo Loop	
Number of FHUs of this Type:	12	12

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 7-inches of attic insulation; does not meet AF standards.
- Roof Covering: asphalt shingles; fair condition; existing evaporative cooler has discolored shingles; condensation lines have been added from cooler to house gutter.
- Roof Pitch: sloped; good condition; meets 3 in 12 minimum slope.
- Soffit/Fascia: aluminum; fair condition; minimal damage to fascia, approximately 25 percent; inadequate roof ventilation.
- Flashing: metal; good condition.
- Gutters/Downspouts: none; required.
- Chimneys: none; not required.
- Fire Walls: concrete masonry unit; poor condition; concrete extends to underside of original flat roof deck; does not extend to added truss roof.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: concrete masonry unit; fair condition; concrete block walls do not provide proper insulating value for exterior walls.
- Exterior Wall Covering: painted; fair condition; painted concrete block; poor appearance; maintenance problem.
- Foundation/Basement: slab on grade; good condition.
- Floor Structure: none; slab on grade.
- Windows - Frames: metal; fair condition; corrosion of frame finish.
- Windows - Glazing: single; fair condition; worn seals; bedroom windows provide emergency egress.
- Windows - Screens: metal; fair condition; worn; bent from removal.
- Doors - Entry: metal; fair condition; flush door with many coats of painted; no wide angle viewer.



Right side elevation



Rear elevation



Kitchen



Bathroom 1

- Doors - Sliding Glass: metal; fair condition; not insulated glass.
- Doors - Storm/Screen: metal; good condition.
- Doors - Hardware: brass; fair condition; entry door does not have dead bolt.

Structural - Other Building Elements

- Garage/Carport: none; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Porch/Stoop: stoop; good condition.
- Patio/Deck: concrete; good condition.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; fair condition; damage to door and wall covering.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; fair condition; vinyl fencing at side yard does not provide patio screening between units.
- Landscaping: grass and trees; fair condition; trees and scrubs do not exist around unit.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base.
- Heating System: gas; fair condition; some corrosion; damaged panels.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; fair condition; some corrosion at base.
- Ductwork: galvanized; poor condition; contains solid particulate material.
- Register/Diffusers: metal; poor condition; painted; dented.
- Fire Protection: none; required.

- Thermostat: electric; fair condition; painted; cover cracked.

Electrical

- Electrical Panel: 100 amp; poor condition; actual 125 amp; inadequately sized, 150 amp minimum required.
- Receptacles: 15 amp; poor condition; need 8 additional.
- GFCI Receptacles/Breakers: breaker; deteriorated condition; protects bathrooms and exterior receptacles; no GFCI protection in Kitchen; GFCI breaker located in panel.
- Wiring: 3 wire; poor condition; not properly grounded; dated.
- Lighting Fixtures: incandescent/fluorescent; poor condition; dated fixtures.
- Smoke Detectors: alternating current; fair condition; alternating current with battery back-up required.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; poor condition; existing outlets need replaced, and add additional outlets.
- Cable Hookups: coaxial; fair condition; existing outlets need replaced, and add additional outlets.
- Service Disconnect: 100 amp; deteriorated condition; located outside at meter bank; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; poor condition; near end of useful life.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composition tile; poor condition; uneven, mismatched.
- Flooring - Wood: none; not required.
- Walls: concrete masonry unit; fair condition; concrete masonry units and gypsum wall board; gypsum wall board shows seams in few location; concrete block has institutional appearance.
- Wall Finish: painted; fair condition; slightly worn, yellowish color throughout; textured finish.

- Ceilings: gypsum wall board; fair condition; some sagging visible seams.
- Ceiling Finish: painted; fair condition; slightly worn, yellowish color throughout, textured finish.
- Molding & Trim: wood; fair condition; many coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: wood; poor condition; worn finish.
- Doors - Closet: wood; fair condition; slightly worn.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; fair condition; many coats of paint.
- Interior Hardware: metal; fair condition; slightly worn finish on same door knobs.
- Arctic Recreation Room: none; not required at required at this location.

Kitchen

Kitchen is parallel wall layout.

- Cabinets: wood; poor condition; worn finish; interiors very worn and difficult to clean.
- Counter Tops: laminated; fair condition; butcher block pattern; worn finish.
- Sink: stainless sink, double; fair condition; worn finish.
- Sink Fixtures: metal; fair condition; slightly corroded.
- Refrigerator: standard; fair condition; slightly worn interior.
- Range/Oven: gas; fair condition; slightly worn.
- Vent Hood: exhaust fan; fair condition; slightly worn.
- Dishwasher: standard; fair condition; slightly worn interior; worn heating element.
- Garbage Disposal: standard; fair condition; slightly worn but operable.
- Flooring: vinyl sheet; fair condition; slightly worn.
- Walls: gypsum wall board; fair condition; some visible seams.
- Wall Finish: painted; fair condition; slightly worn; yellowish color throughout; textured finish.
- Ceilings: gypsum wall board; fair condition; some sagging; visible seams.

- Ceiling Finish: painted; fair condition.
- Interior Hardware: none; not required.

Bathroom #1

Bathroom 1 serves Bedrooms 1 and 2.

- Cabinets: wood; fair condition; worn finish.
- Counters: laminated; fair condition; minor stain.
- Sink: porcelain; fair condition; older sink.
- Fixture Hardware: metal; fair condition; slightly corroded.
- Toilet: porcelain; fair condition; older but functional.
- Tub/Shower: combination; fair condition; no slip resistance in tub; ceramic tile surround.
- Flooring: vinyl composition tile; fair condition; slightly worn.
- Walls: gypsum wall board; fair condition; slightly uneven.
- Wall Finish: painted; fair condition; minor peeling due to moisture, textured finish.
- Ceilings: gypsum wall board; fair condition; slightly uneven.
- Ceiling Finish: painted; fair condition; slightly worn.
- Ventilation: none; exhaust fan required.
- Interior Hardware: metal; fair condition; slightly worn.

Bathroom #2

- None; not required for this unit.

Bathroom #3

- None; not required for this unit.

Laundry Room

- Location: room; poor condition; adequate size; awkward door swing interferes with space; not clean.
- Flooring: vinyl composition tile; fair condition; minor mismatched areas.

- Walls: gypsum wall board; fair condition; slightly uneven in places.
- Wall Finish: painted; fair condition; minor peeling at hookup.
- Ceiling: gypsum wall board; fair condition; slightly uneven.
- Ceiling Finish: painted; fair condition; worn finish.
- Plumbing Hookup: standard; fair condition; older hookup, poor appearance but functional.
- Vent Hookup: standard; fair condition; older hookup, poor appearance but functional.
- Shelving: wood cabinet; good condition.
- Interior Hardware: metal; fair condition; worn finish.

Special Assessments

- Water Quality (Lead): unit was constructed between 1920 and 1987; therefore the probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: unit was constructed before 1977; therefore the probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; lead had been found in the interior: wood cabinet doors, ceiling molding, doors and frames; exterior: doors and frames, concrete masonry walls, wood trim for this unit type.
- Asbestos: unit was constructed before 1982; therefore the probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates the following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; good condition.
- Driveways to House: concrete; good condition; meets minimum dimensions.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; poor condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; downspouts drain to splashblocks has caused soil erosion near unit.

House Plan Suitability

- Bedroom 1: substandard; meets minimum dimensions but not minimum area by 14 sf; closet space meets minimum; smoke detector in hall.
- Bathroom for Bedroom 1: none; not required for this unit type.
- Bedroom 2: above standard; minimum area and dimensions; exceeds closet requirement for second bedroom; smoke detector in hall.
- Bedroom 3: none; not required.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: standard; appropriate size for function; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.
- Family Room: not required for two-bedroom unit.
- Dining Room: substandard; does not meet minimum area by 33 sf or minimum dimensions.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: substandard; meets minimum area but not minimum dimension requirements by 8";

secondary eating area not provided or required; good relationship to living area, outside space; GFCI requirements not met.

- Occupancy: inappropriate image/size for occupying grade.
- Covered Parking: none; garage was converted during previous renovation to add living space; AF standard is two car garage if site allows; site does not allow garage or carport.
- Overall Floor Plan: inappropriate size for occupying grade; undersized by 117 gross sf and 94 net sf; appropriate functional relationships; no separation between entry and Living Room.
- Architectural Aesthetics: fair; character suitable for region and location; fair massing; suitable for future additions.

RECOMMENDATIONS

Roof

- Roof Structure - Trusses, Joists, Insulation: remove existing insulation and provide new R-30 fiberglass batt in attic.
- Roof Covering: replace shingles located at evaporative cooler when unit is relocated.
- Soffit/ Fascia: replace damaged fascia; add perforated aluminum soffit at eaves and new ridge vent to roof for ventilation.
- Gutters/Downspouts: install aluminum gutters, downspouts and splashblocks for entire unit.
- Fire Walls: provide gypsum wall board draft stopping in attic space above.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: provide 2" rigid insulation to exterior face concrete block wall with stucco finish.
- Exterior Wall Covering: see exterior wall structure above.
- Windows - Frames: install new vinyl clad insulated window frames.

- Windows - Glazing: provide new window sashes with insulated glass in window frames.
- Windows - Screens: provide new screens with window frames.
- Door - Entry: install new entry door with wide-angle viewer.
- Door - Sliding Glass: install new vinyl clad patio door with insulated glazing.
- Doors - Hardware: install new dead bolt lock on entry door.

Structural - Other Building Elements

- Garage/Carport: currently space does not exist for the addition of the carport; secondary parking is at the street.
- Garage Door: see above garage/carport.
- Storage Areas: provide new enclosure per proposed plan.
- Trash Enclosures: provide new trash enclosure.
- Privacy Fencing: use relocated exterior storage to screen patio.
- Landscaping: plant climate appropriate ground cover and landscaping.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System Interior: install direct exchange cooling coil.
- Cooling System - Exterior: replace exterior cooling system with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Register/Diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.

- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel.
- Receptacles: replace all receptacles and add additional outlets.
- GFCI Receptacles/Breakers: add GFCI receptacles to Kitchen, bathrooms and exterior receptacles.
- Wiring: replace house wiring.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Phone Jacks: replace phone jacks, and add outlets.
- Cable Hookups: replace cable jacks, add outlets.
- Service Disconnect: replace service disconnect with 150 amp, make integral to new electric panel.
- Light Switches: replace light switches.

General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: replace with ceramic tile at entry; install carpet in living areas.
- Walls: replace all gypsum wall board walls due to condition and rewiring of unit; install gypsum wall board over 1½" metal furring at concrete block walls.
- Walls Finish: paint walls.
- Ceiling: replace gypsum wall board ceilings due to condition and rewiring of unit.
- Ceiling Finish: paint ceilings.
- Molding & Trim: replace molding and trim; apply light colored stain.
- Doors - Interior: replace doors.
- Doors - Closet: replace doors.
- Closet Shelving: replace wood shelving with vinyl coated wire shelving.
- Interior Hardware: replace hardware.

Kitchen

See House Plan Suitability.

Bathroom #1

- Cabinets: install new wood vanity cabinet.
- Counter Tops: install new cultured marble counter top.
- Sink: install new cultured marble sink.
- Fixture Hardware: install new hardware.
- Toilet: replace toilet.
- Tub/Shower: install new tub with ceramic tile enclosure; fill in existing window in tub/shower.
- Flooring: install new ceramic tile floor.
- Walls: replace gypsum wall board walls.
- Wall Finish: paint walls.
- Ceiling: replace gypsum wall board ceiling.
- Ceiling Finish: paint ceiling.
- Ventilation: install new exhaust fan.
- Interior Hardware: install new hardware.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

- Location: install new bifold door to allow clearer access.
- Flooring: install vinyl composition tile.
- Walls: replace gypsum wall board walls.
- Wall Finish: paint walls.
- Ceiling: replace gypsum wall board ceiling.
- Ceiling Finish: paint ceiling.
- Plumbing Hookup: install new plumbing hookup.
- Vent Hookup: install new vent hookup.

- Interior Hardware: install new interior hardware.

Special Assessments

- Lead Based Paint: test for lead paint and if present remove and replace all suspect material; remove interior: wood cabinets, ceiling molding, doors and frames; exterior: doors, frames and wood trim, lead paint on concrete masonry unit walls will be encapsulated with stucco.
- Asbestos: properly abate and dispose of all material identified for removal and properly encapsulate all friable material scheduled to be retained; roofing material and window glazing to remain, remove vinyl composite tile and mastic, cove base and mastic, gypsum wall board and joint compound, light fixture backing, HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

House Sitework

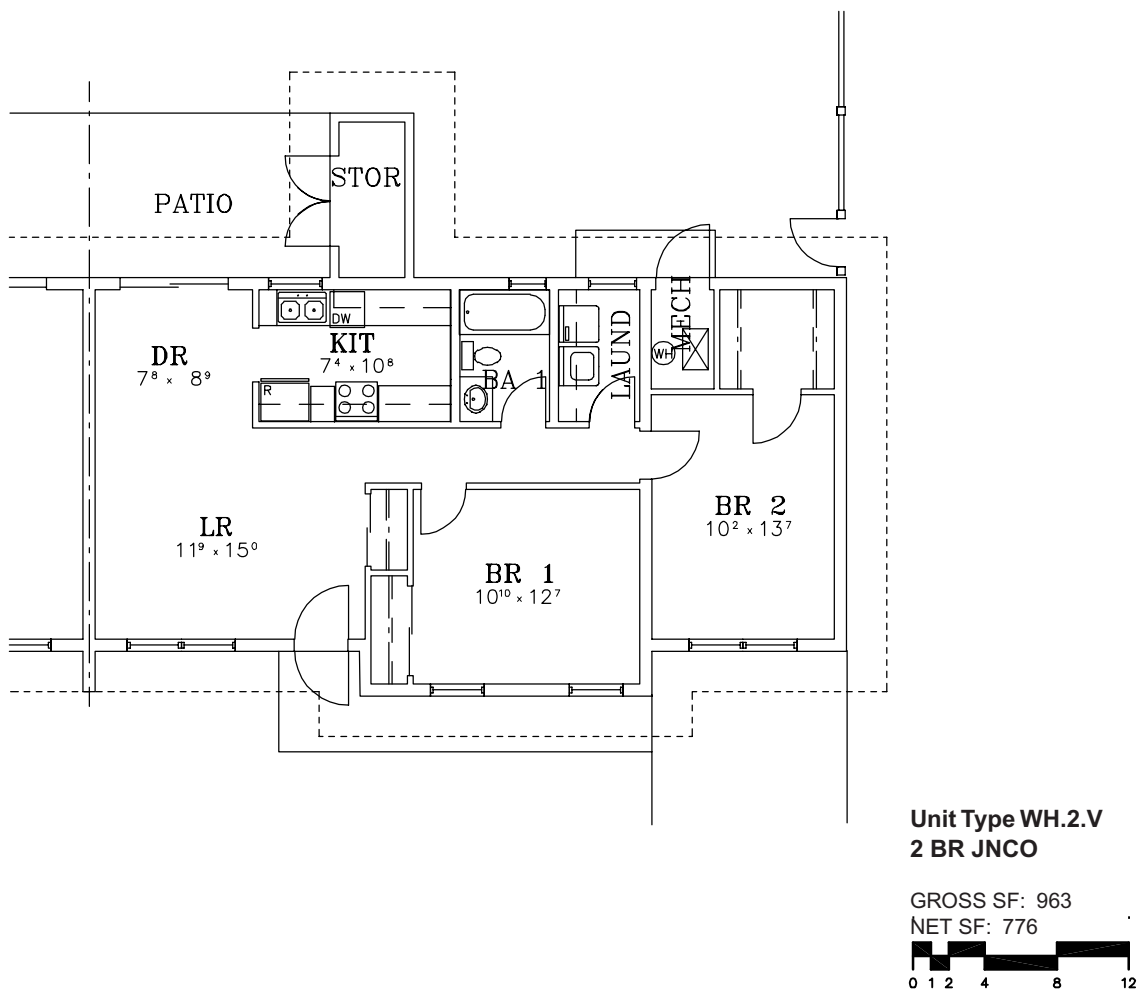
- Electrical Service from Transformer: replace overhead service with underground service.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper drainage away from foundation.

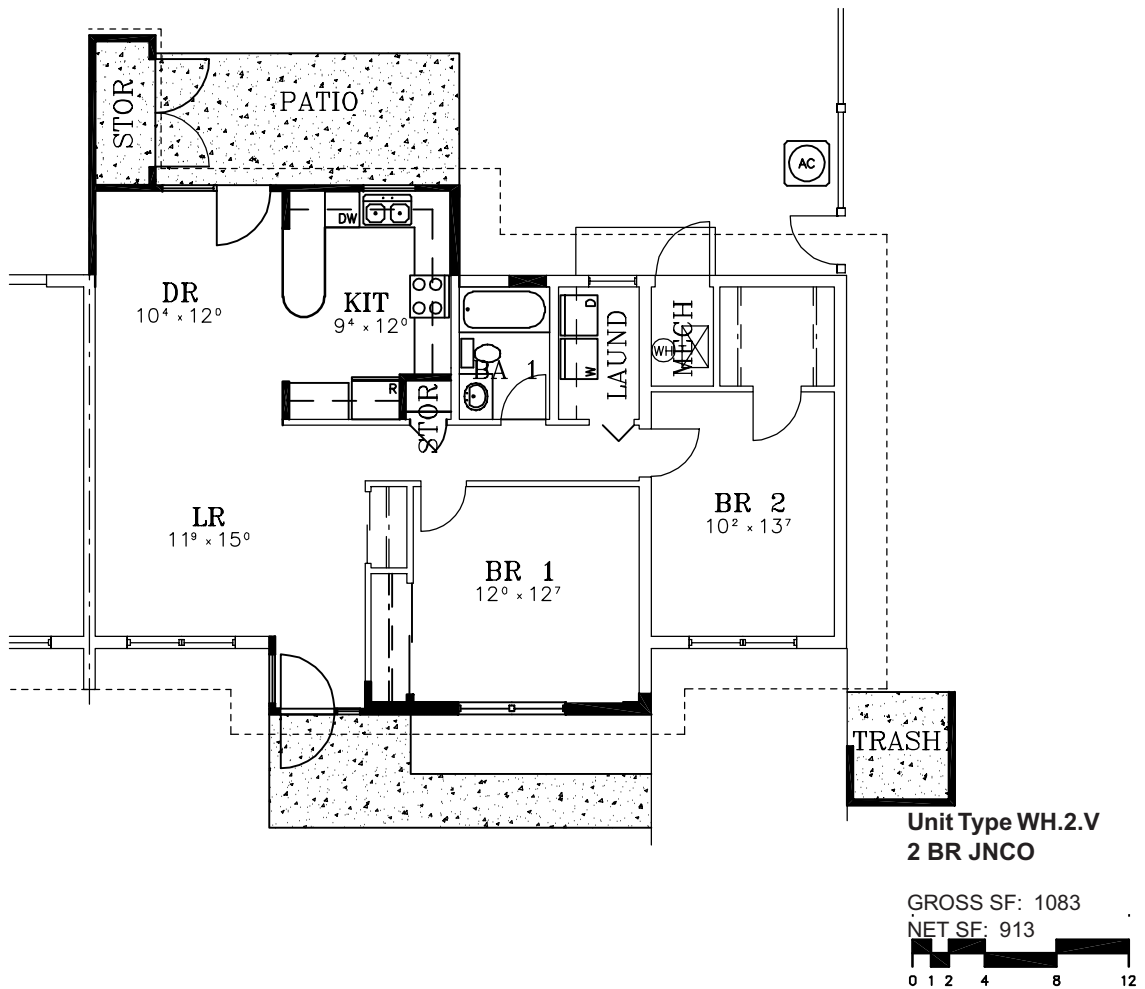
House Plan Suitability

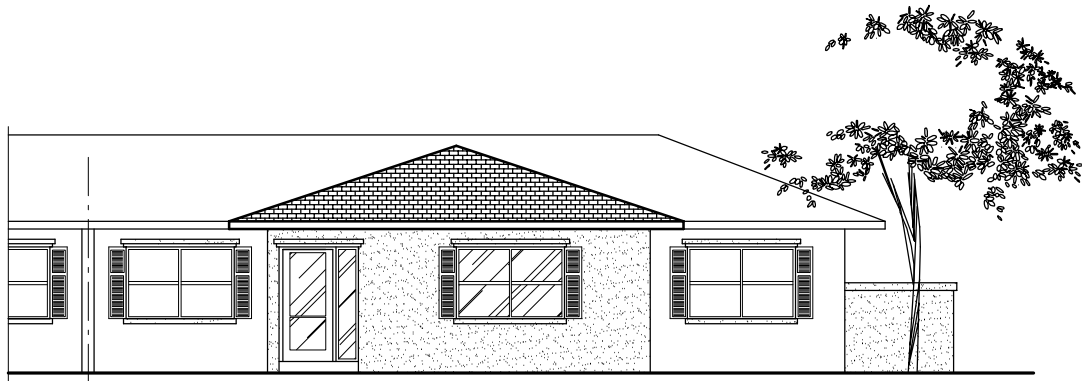
- Bedroom 1: expand bedroom to meet minimum standards per proposed plan.
- Dining Room: reconfigure walls per proposed plan to expand Dining Room and allow more direct access from Kitchen to Dining Room; Kitchen reconfigure to expand Dining Room.
- Kitchen: replace wood cabinets; install new counter tops; install new stainless steel double bowl sink; install new refrigerator, range/oven, vent hood, garbage disposal and dishwasher; install new ceramic

tile floor; provide new gypsum wall board walls and ceiling; paint new gypsum wall board walls and ceiling.

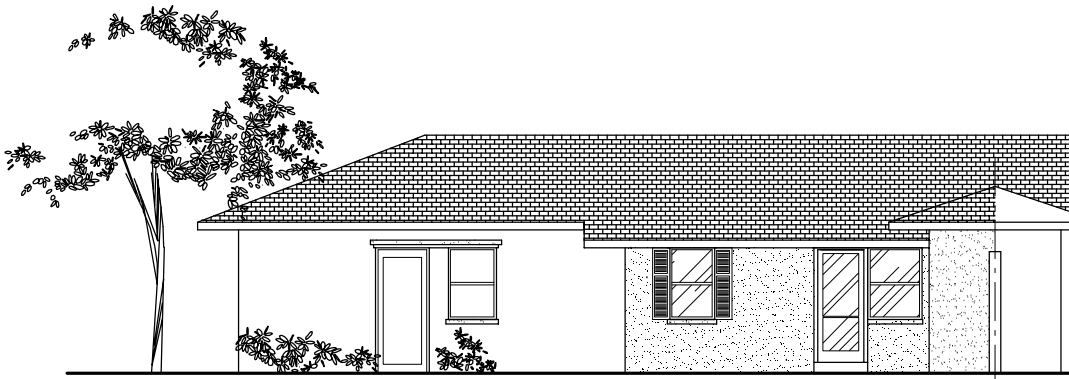
- Occupancy: additions provide minimum sf compliance.
- Overall Floor Plan: create new entry; expand unit to increase area per proposed plan.
- Architectural Aesthetics: add detail with new stucco finish to improve character of unit; rework front façade with new addition.

**EXISTING**

**PROPOSED**



FRONT ELEVATION



REAR ELEVATION

Unit Type WH.2.V
2 BR JNCO

GROSS SF: 1083
NET SF: 913



PROPOSED

4.3.8.1.1 Unit Type WH.2.V

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$3,741
Structural/Foundation/Exterior Walls	\$8,385
Structural/Other Building Elements	\$9,917
Mechanical	\$12,425
Electrical	\$8,254
General/All but Kitchen, Baths, Laundry	\$12,533
Kitchen	\$0
Bathroom #1	\$4,285
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$1,262
Special Assessments	\$7,417
House Sitework	\$5,755
House Plan Suitability	\$42,654
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$116,628
ACF (0.98) Adjusted Subtotal	\$114,295
SIOH @3.00%	\$3,429
Contingency @5.00%	\$5,886
Adjusted Subtotal (FY2001\$)	\$123,611
Escalation @3.33%	\$4,116
Total Unit Improvement Cost (FY2003\$)	\$127,727

this page left intentionally blank.



4.3.8.2 Unit Type WH.2.X Wherry 2200-2300 Housing

This one-story, two-bedroom multi-family four-plex was built in 1956. It is of standard masonry construction with a concrete slab on grade. No garage or carport is provided. Exterior walls are painted concrete block. The unit bears no formal historical designation. Existing garage was converted into a Dining Room and a Laundry/Storage room. This unit was unoccupied at time of visit. This

unit type has not received any renovation improvement work.

74 units are in Wherry 2200-2300 Area. 84 units are in Wherry 2400 Area.

	Existing	Proposed
Floor Plan Type:	WH.2.X	WH.2.X
Gross Floor Area:	1138 sf	1191 sf
Net Floor Area:	898 sf	978 sf
Number of Bedrooms:	2	2
Number of Bathrooms:	1	1
Permanent Designation:	JNCO	JNCO
CAM Rating:	2.95	
FHU Assessed:	2430B Eddy Loop	
Number of FHUs of this Type:	74	74

ANALYSIS

Roof

- Roof Structure - Decking: plywood; good condition.
- Roof Structure - Trusses, Joist, Insulation: wood; good condition; approximately 8-inches of attic insulation; meets AF standards.
- Roof Covering: asphalt shingles; fair condition; existing evaporative cooler is mounted on top of roof; condensation from cooler has discolored shingles; condensation lines have been added from cooler to house gutter.
- Roof Pitch: sloped; good condition; meets 3 in 12 minimum slope.
- Soffit/Fascia: aluminum, good condition.
- Flashing: metal; good condition.
- Gutters/Downspouts: aluminum; good condition.
- Chimneys: none; not required.
- Fire Walls: concrete masonry unit; fair condition; concrete masonry units extend from slab on grade to underside of the bottom chord of roof truss; no draft stop in attic.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: concrete masonry unit; fair condition; concrete block walls do not provide proper insulating value for exterior walls.
- Exterior Wall Covering: painted; fair condition; poor/worn appearance; recurring maintenance issue.
- Foundation/Basement: slab on grade; fair condition; cracked and settled.
- Floor Structure: none; slab on grade.
- Windows - Frames: aluminum; good condition.
- Windows - Glazing: double; good condition; bedroom windows provide emergency egress.
- Windows - Screens: aluminum; good condition.
- Doors - Entry: metal; fair condition; flush door with many coats of painted; no peephole.
- Doors - Sliding Glass: none; not required.
- Doors - Storm/Screen: fiberglass; good condition.



Rear elevation



Kitchen



Bathroom 1

- Doors - Hardware: metal; fair condition; entry door does not have dead bolt.

Structural - Other Building Elements

- Garage/Carport: none; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Garage Door: none; current AF standard is two car garage if site allows; refer to House Plan Suitability.
- Porch/Stoop: none: not required; concrete sidewalk runs from driveway to front entry door.
- Patio/Deck: concrete; poor condition; rear concrete patio slab is cracked, heaved and improperly sloped.
- Balcony: none; not required.
- Storage Areas: concrete masonry unit; good condition; shared with Laundry at rear of house; exterior and interior access.
- Trash Enclosures: none; required.
- Stairs (Exterior): none; one-story unit.
- Crawl Space: none; slab on grade unit.
- Privacy Fencing: vinyl; fair condition; fencing is excellent along rear property line but does not provide patio screening.
- Landscaping: grass and trees; poor condition; mature tree, no shrubs.

Mechanical

- Gas Service: steel; fair condition; corroded.
- Water Service: copper; fair condition; corroded.
- Drain/Waste/Vent: polyvinyl chloride; fair condition; restricted clean out access.
- Water Heater: gas, 40 gallon; fair condition; corroded at base.
- Heating System: gas; fair condition; some corrosion; damaged panels.
- Cooling System - Interior: none; required.
- Cooling System - Exterior: evaporative cooler; fair condition; some corrosion at base.
- Ductwork: galvanized; fair condition; contains solid particulate material.
- Register/Diffusers: metal; fair condition; painted; vented.

- Fire Protection: none; required.
- Thermostat: electric; fair condition; painted; cover cracked.

Electrical

- Electrical Panel: 100 amp; deteriorated condition; inadequately sized, 150 amp minimum required.
- Receptacles: 15 amp; deteriorated condition; some 2-prong receptacles in used, need 14 additional.
- GFCI Receptacles/Breakers: breaker; deteriorated condition; protects bathrooms and exterior receptacles; no GFCI protection in Kitchen; GFCI breaker located in panel.
- Wiring: 2 and 3 wire; deteriorated condition; not properly grounded; aged.
- Lighting Fixtures: incandescent; deteriorated condition; dated fixtures.
- Smoke Detectors: alternating current; fair condition; battery back-up required.
- CO Detectors: alternating current; fair condition; plugged in; AF standard requires a hard-wired, battery backed-up, CO detectors at sleeping area and a minimum of one detector on each level.
- Phone Jacks: 4 wire; deteriorated condition; some exposed wiring; existing outlet needs replaced and add additional outlets.
- Cable Hookups: coaxial; deteriorated condition; some exposed wiring; existing outlet needs replaced and add additional outlets.
- Service Disconnect: 100 amp; deteriorated condition; located outside; undersized, 150 amp minimum required.
- Light Switches: single post, single throw; poor condition; near end of useful life.

General - All but Kitchen, Baths, Laundry

- Flooring - Carpet: none; not required.
- Flooring - Vinyl: vinyl composite tile; fair condition; mismatched tiles and minor tile damage in some places.
- Flooring - Wood: none; not required.
- Walls: concrete masonry unit; fair condition; concrete masonry units have institutional appearance and some gypsum wall board walls.

- Wall Finish: painted; fair condition; yellowish color throughout.
- Ceilings: gypsum wall board; fair condition; seams noticeable.
- Ceiling Finish: painted; fair condition; yellowish color throughout.
- Molding & Trim: wood; poor condition; many coats of paint.
- Stairs (Interior): none; one-story unit.
- Doors - Interior: hollow core; poor condition; many coats of paint.
- Doors - Closet: hollow core; poor condition; many coats of paint.
- Window Treatment (Blinds): mini blinds; good condition.
- Closet Shelving: wood; fair condition; slightly worn with many coats of paint.
- Interior Hardware: metal; fair condition; slightly worn finish.
- Arctic Recreation Room: none; not required at this location.

Kitchen

Kitchen is L-shaped.

- Cabinets: wood; fair condition; worn finish; aged condition.
- Counter Tops: laminated; fair condition; butcher block pattern.
- Sink: stainless sink, double; fair condition; worn finish with scratches.
- Sink Fixtures: metal; poor condition; old fixture with some corrosion.
- Refrigerator: standard; fair condition; not clean.
- Range/Oven: gas; fair condition; scratched on top surface; not self cleaning.
- Vent Hood: exhaust fan; fair condition; slightly worn.
- Dishwasher: standard; fair condition; worn interior.
- Garbage Disposal: standard; fair condition; slightly worn.
- Flooring: vinyl composite tile; fair condition; worn surfaces.
- Walls: gypsum wall board; fair condition.
- Wall Finish: painted; fair condition.

- Ceilings: gypsum wall board; fair condition.
- Ceiling Finish: painted; fair condition; yellowish color.
- Interior Hardware: aluminum; fair condition; worn finish.

Bathroom #1

Bathroom 1 serves Bedrooms 1 and 2.

- Cabinets: wood; poor condition; worn finish exterior and interior of cabinet.
- Counters: cultured marble; good condition.
- Sink: cultured marble; good condition.
- Fixture Hardware: chrome; fair condition; slight corroded.
- Toilet: porcelain; fair condition; older but functional.
- Tub/Shower: combination; fair condition; no slip resistance in tub; dated ceramic tile tub surround.
- Flooring: vinyl composite tile; fair condition; worn finish.
- Walls: gypsum wall board; fair condition.
- Wall Finish: painted; poor condition; peeling paint.
- Ceilings: gypsum wall board; fair condition.
- Ceiling Finish: painted; fair condition.
- Ventilation: none; exhaust fan required.
- Interior Hardware: metal; fair condition; worn finish.

Bathroom #2

- None; not required for this unit type.

Bathroom #3

- None; not required for this unit type.

Laundry Room

- Location: room; fair condition; adequate size; at rear of unit which is used as interior and exterior storage also; exterior and interior access; room needed cleaned, painted, and natural light.
- Flooring: concrete; fair condition; aged appearance.

- Walls: concrete masonry unit; fair condition; aged appearance.
- Wall Finish: painted; fair condition; worn finish.
- Ceiling: gypsum wall board; fair condition; some sagging.
- Ceiling Finish: painted; fair condition; worn finish.
- Plumbing Hookup: standard; fair condition; older hookup.
- Vent Hookup: standard; fair condition; older hookup.
- Shelving: none; shelving required to meet standard.
- Interior Hardware: metal; poor condition; worn finish.

Special Assessments

- Water Quality (Lead): this unit was constructed between 1920 and 1987; therefore the probability of lead content is moderate; tests indicate no lead in the water.
- Lead Based Paint: this unit was constructed before 1977; therefore the probability of lead based paint is high; paint samples from the units where test conducted in 1994 and 2001 show lead levels exceeding the allowable by HUD; lead has been found in the interior: wood cabinet doors, ceiling molding, doors and frames; exterior: doors and frames, concrete masonry walls, wood trim for this unit type.
- Asbestos: this unit was constructed before 1982; therefore the probability of asbestos contamination is high; an undated memo from the Asbestos Foreman indicates following to be asbestos containing material though no type or percent is identified: roofing material, floor tile and mastic, cove base mastic, joint compound, caulking, window glazing, light fixture backing, HVAC flex connector and pipe insulation.
- Radon: this unit is located in Environmental Protection Agency Zone 2 designated as moderate potential for radon risk; base reports no contamination is present.
- Termites: termites are a common occurrence in this geographic location; termite infestation was not identified or reported.

House Sitework

- Walkways to House: concrete; deteriorated condition; sidewalk from driveway to front door is cracked and heaved causing differential settlement and poses as a tripping hazard.
- Driveways to House: concrete; fair condition; driveway does not meet minimum length dimension; only one car can park in driveway.
- Uncovered Parking Pads at House: none; not required.
- Electrical Service from Transformer: overhead; deteriorated condition; reaching end of useful life; no capacity for expansion.
- Water Service Lateral from Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Sewage Service Lateral to Main: polyvinyl chloride; fair condition; problems with connection at main and house.
- Gas Service to House from Main: polyethylene; fair condition; problems with connection at main and house.
- Grading/Drainage: surface; fair condition; within five feet of house requires regrading for positive drainage.

House Plan Suitability

- Bedroom 1: substandard; does not meet minimum area requirements by 11 sf, does meet minimum dimensions; meets closet requirements; smoke detector in hall.
- Bathroom for Bedroom 1: none; not required for two-bedroom unit.
- Bedroom 2: substandard; does not meet minimum area requirement by 11 sf, does meet minimum dimensions; meets closet requirements; smoke detector in hall.
- Bedroom 3: none; not required.
- Bedroom 4: none; not required.
- Bathroom for Bedroom 2,3,4: substandard; not appropriate dimension for function, short by 1'-6"; minimal counter space.
- First Floor Bath for 2-Story House: none; not required for one-story house.

- Family Room: not required for 2 bedroom unit, but exists.
- Dining Room: above standard; exceeds minimum area and dimension requirements; not adjacent to Kitchen.
- Living Room: above standard; exceeds minimum area and dimension requirements.
- Kitchen: standard; meets minimum area and dimension requirements; good relationship to outdoor space and natural light; an adjacent Family Room could be used for secondary dining; GFCI requirements not met.
- Occupancy: appropriate image for occupying grade.
- Covered Parking: none; garage has been converted to living space; AF standard is two car garage if site allows; site does not allow garage or carport.
- Overall Floor Plan: good; appropriate size for occupying grade; appropriate functional relationships; large amount of unused space in Laundry/Storage; poor entry; interior access to mechanical equipment not preferred by this base.
- Architectural Aesthetics: fair; character suitable for region; bad location; set back from street is minimal leaving a small front yard and no additional parking in driveway; additions can not be added to front or sides of unit; these four-plexes along street are repetitive and monotonous.

RECOMMENDATIONS

Roof

- Roof Covering: replace shingles located at evaporative cooler when units are relocated.
- Fire Walls: install fire rated draft stopping in attic.

Structural - Foundation/Exterior Walls

- Exterior Wall Structure: provide 1½" rigid insulation with gypsum wall board face at interior face of exterior concrete block walls.
- Exterior Wall Covering: apply stucco to exterior of concrete block walls.

- Foundation/Basement: mudjack 200 sf of floor areas where slab and level.
- Doors - Entry: install new steel insulated entry doors with peephole.
- Doors - Hardware: install new hardware and dead bolt lock on exterior doors.

Structural - Other Building Elements

- Patio/Deck: provide new concrete patio per proposed plan.
- Trash Enclosure: provide new trash enclosure.
- Privacy Fencing: provide patio screening.
- Landscaping: plant climate appropriate ground cover and landscaping.

Mechanical

- Gas Service: replace building gas service with steel piping.
- Water Service: replace building water service with copper piping.
- Drain/Waste/Vent: replace building drain/waste/vent system with polyvinyl chloride piping.
- Water Heater: replace water heater with 40 gallon gas unit.
- Heating System: replace heating system with forced air gas furnace.
- Cooling System - Interior: install interior cooling system with direct exchange coil.
- Cooling System - Exterior: replace with electric condensing unit.
- Ductwork: replace ductwork system with galvanized/insulated ductwork.
- Register/Diffusers: replace registers and grilles.
- Fire Protection: provide an approved disposable fire extinguisher.
- Thermostat: replace thermostat with digital or electronic set back type.

Electrical

- Electrical Panel: replace electric panel with 150 minimum panel.
- Receptacles: add additional and replace all receptacles and with grounded 3 prong outlets.

- GFCI Receptacles/Breakers: add GFCI receptacles to Kitchen, bathrooms and exterior receptacles.
- Wiring: replace house wiring.
- Lighting Fixtures: replace lighting fixtures.
- Smoke Detectors: replace smoke detector with hard wired, battery backed up device.
- CO Detectors: install hard-wired, battery backed-up, CO detectors near sleeping areas.
- Phone Jacks: replace and add phone jacks, conceal wiring.
- Cable Hookups: replace and add cable jacks, conceal wiring.
- Service Disconnect: replace service disconnect with 150 amp; make integral to new electric panel.
- Light Switches: replace light switches.

General - All but Kitchen, Baths, Laundry

- Flooring - Vinyl: replace with ceramic tile at entry; install carpet in living areas.
- Walls: install gypsum wall board over 1½" metal furring at concrete block walls; replace all gypsum wall board walls due to condition and rewiring of unit.
- Walls Finish: paint walls.
- Ceiling: replace gypsum wall board ceilings.
- Ceiling Finish: paint ceilings.
- Molding & Trim: replace molding and trim; apply light colored stain.
- Doors - Interior: install new doors.
- Doors - Closet: install new doors.
- Closet Shelving: replace wood shelving with vinyl coated wire shelving.
- Interior Hardware: replace hardware.

Kitchen

See House Plan Suitability.

Bathroom #1

- Cabinets: install new wood vanity cabinet with cultured marble top.
- Fixture Hardware: install new hardware.

- Toilet: replace toilet.
- Tub/Shower: install new tub with ceramic tile enclosure; fill in existing window in tub/shower.
- Flooring: install new ceramic tile floor.
- Walls: replace gypsum wall board walls.
- Wall Finish: paint walls.
- Ceiling: replace gypsum wall board ceiling.
- Ceiling Finish: paint ceiling.
- Ventilation: install new exhaust fan.
- Interior Hardware: install new hardware.

Bathroom #2

No recommendation.

Bathroom #3

No recommendation.

Laundry Room

See House Plan Suitability.

Special Assessments

- Lead Based Paint: test for lead based paint and if present remove and replace all suspect material; remove interior: wood cabinets, ceiling molding, doors and frames; exterior: doors, frames and wood trim, lead paint on concrete masonry unit walls will be encapsulated with stucco.
- Asbestos: properly abate and dispose of all material identified for removal and properly encapsulate all friable material scheduled to be retained; roofing material and window glazing to remain, remove vinyl composite tile and mastic, cove base and mastic, gypsum wall board and joint compound, light fixture backing, HVAC flex connectors and pipe insulation.
- Radon: continue to monitor.
- Termites: treat regularly for termite prevention.

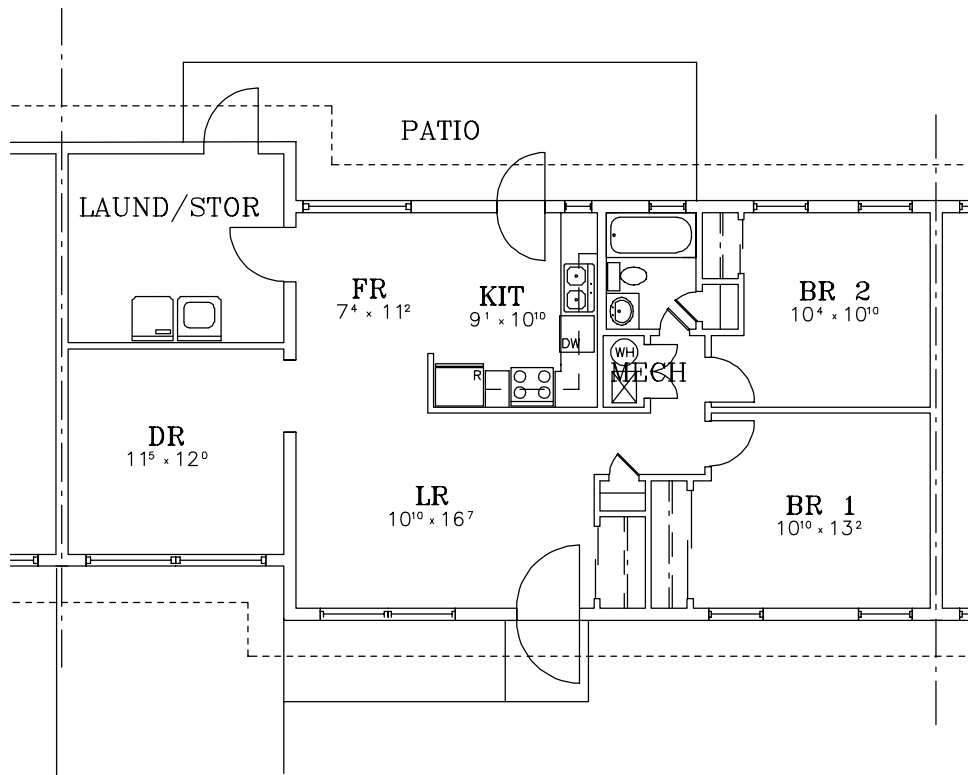
House Sitework

- Walkways to House: replace concrete walk.
- Driveways to House: space is not available for expansion.
- Electrical Service from Transformer: replace overhead service with underground service.
- Driveway to House: expand driveway width as possible per site of unit.
- Water Service Lateral from Main: replace water service from main with copper tubing.
- Sewage Service Lateral to Main: replace sewage service to main with polyvinyl chloride piping.
- Gas Service to House from Main: replace gas service from main with polyethylene tubing.
- Grading/Drainage: regrade and seed to provide proper drainage away from foundation.

House Plan Suitability

- Bedroom 1: expand bedroom per proposed plan.
- Bedroom 2: expand bedroom per proposed plan.
- Bathroom for Bedroom 2,3,4: expand bathroom per proposed plan.
- Kitchen: see Electrical recommendations for GFCI requirements.
- Overall Floor Plan: modify unit per proposed plan to create a new mechanical room with exterior access; relocate Laundry into the interior of the unit per proposed plan, install vinyl composition tile, replace gypsum wall board walls and ceilings, paint walls and ceilings, install new plumbing and vent hookups, install new wall cabinet for shelving, install new interior hardware; incorporate existing interior storage area into living space of unit; provide exterior storage shed due to Family Room relocation; relocate Kitchen due to mechanical room and Laundry relocation; replace wood cabinets; install new laminated counter tops, new stainless steel double sink and sink fixtures; install new refrigerator, range/oven, exhaust vent hood, dishwasher and disposal; install new ceramic tile floor; provide new gypsum wall board walls and ceiling; paint new gypsum wall board walls and ceiling; install new hardware.

- Architectural Aesthetics: recess entry to break up flat dimension of the multi-unit building; use new stucco to create more interest on exterior; add trellis to enhance entry.

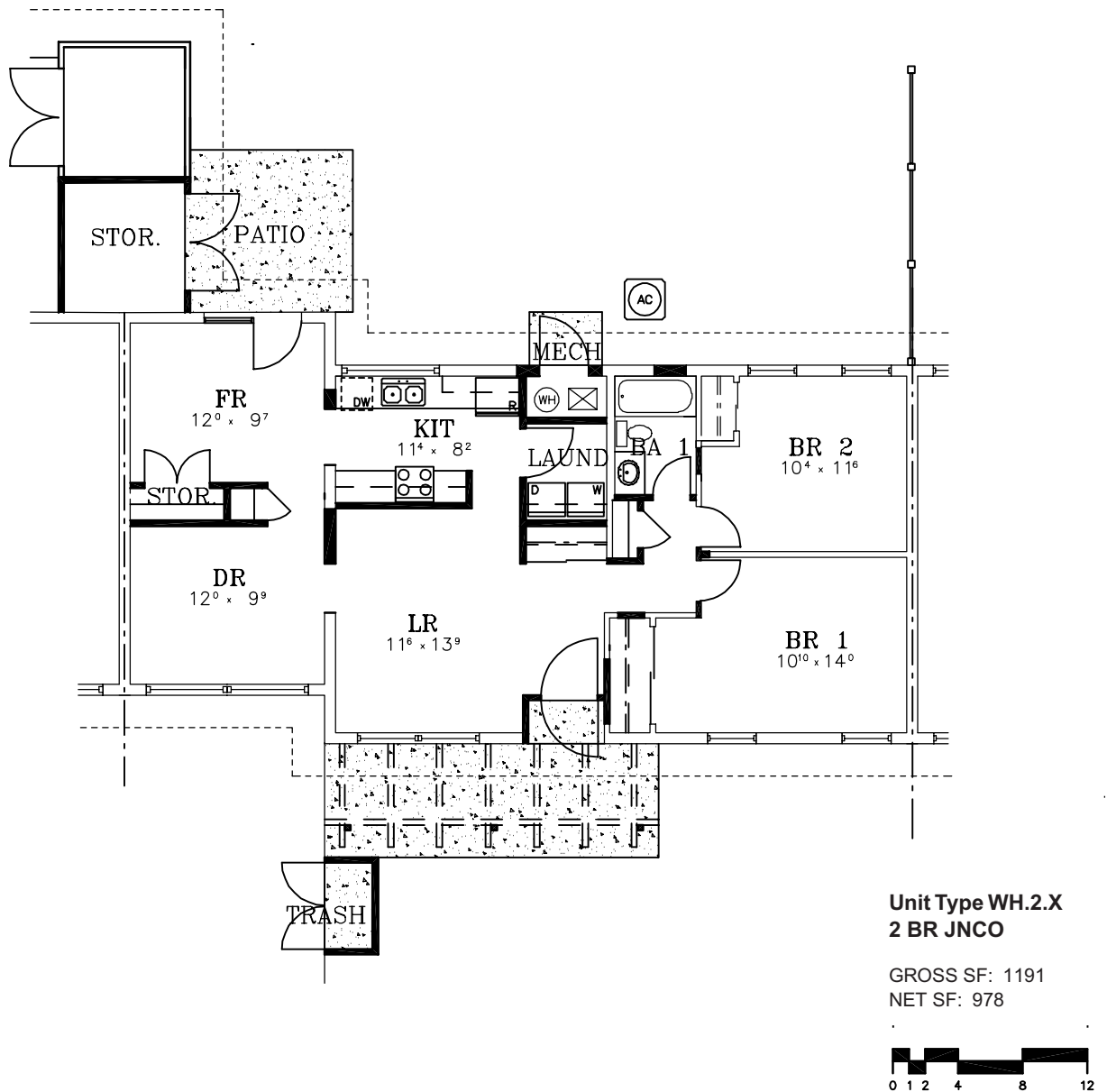


Unit Type WH.2.X
2 BR JNCO

GROSS SF: 1138
NET SF: 898



EXISTING

**PROPOSED**

4.3.8.2.1 Unit Type WH.2.X

Improvement Cost Summary

Base Name: Holloman Air Force Base

System/Subsystem	Unit Cost
Whole House/All Systems	\$0
Roof	\$520
Structural/Foundation/Exterior Walls	\$11,771
Structural/Other Building Elements	\$6,984
Mechanical	\$12,915
Electrical	\$8,468
General/All but Kitchen, Baths, Laundry	\$17,133
Kitchen	\$0
Bathroom #1	\$3,969
Bathroom #2	\$0
Bathroom #3	\$0
Laundry Room	\$0
Special Assessments	\$9,363
House Sitework	\$6,182
House Plan Suitability	\$31,937
PACAF/Stairwell/Basement Ratings	\$0
USAFE/Stairwell/Basement Ratings	\$0
Subtotal	\$109,242
ACF (0.98) Adjusted Subtotal	\$107,057
SIOH @3.00%	\$3,212
Contingency @5.00%	\$5,513
Adjusted Subtotal (FY2001\$)	\$115,783
Escalation @3.33%	\$3,856
Total Unit Improvement Cost (FY2003\$)	\$119,638